



INTERIM K-20

DEVELOPMENT CODE

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The images and diagrams appearing in the Interim K-20 Development Code were derived from the SmartCode Version 9.0, authored by Duany Plater-Zyberk & Co.

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1.1 AUTHORITY

- 1.1.1 This Interim K20 Development Code (“the Code”) is enacted as one of the instruments for implementing the public purposes and objectives of the adopted Comprehensive Plan Element for the Extraterritorial Jurisdiction (“the ETJ Plan”) and is declared to be consistent therewith. It shall also govern development on land enumerated in §4-1102 of the Mesquite Zoning Ordinance (MZO). Except as noted herein or in MZO §4-1103, this Code supplants the application of all provisions of the MZO as it pertains to land that may hereafter be designated and classified as subject to application of the Kaufman-Interstate 20 District (“the K20 District”).
- 1.1.2 This Code is adopted to promote the health, safety and general welfare of the City of Mesquite, Texas, and its citizens, including without limitation, the creation of sustainable communities, a reduction in sprawl development and visual clutter, protection of the environment, conservation of land, energy and natural resources, reduction in vehicle miles traveled and traffic congestion, more efficient use of public funds and infrastructure, health benefits of a pedestrian-oriented environment, and improvement of the built environment and human habitat.
- 1.1.3 This Code may be amended after notice and public hearing in accordance with MZO §5-302.

1.2 INTENT

The purpose of this Code is to enable, encourage and quantify the implementation of the following policies within the K20 District:

1.2.1 The Area

- a. That the area shall retain its natural infrastructure and visual character derived from topography, woodlands, farmlands and riparian corridors.
- b. That growth in the area shall occur in an orderly and resource-efficient manner.
- c. That development which is non-contiguous to the urbanized area of the city shall be organized in the pattern of CLD, TND, TCD, RND or RCD.
- d. That transportation Corridors shall be planned and reserved in coordination with land function.
- e. That green corridors shall be used to define and connect the urbanized areas.
- f. That the area shall include a framework of transit, pedestrian, and bicycle systems that provide alternatives to the automobile.

1.2.2 The Community

- a. That Neighborhoods and Centers shall be complete, compact, pedestrian-oriented and mixed-use.
- b. That Neighborhoods and Centers shall be the preferred pattern of development and that developments specializing in single-use or limited uses shall be the exception.
- c. That ordinary activities of daily living shall occur within walking distance of most dwellings, allowing independence to those who do not drive, and giving residents with automobiles a range of mobility options.
- d. That interconnected networks of Thoroughfares shall be designed to disperse and reduce the length of automobile trips.
- e. That within neighborhoods, a range of housing types and price levels shall be provided to accommodate diverse ages and incomes.
- f. That appropriate building Densities and land uses shall be provided within walking distance of possible future public transportation.

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- g. That Civic, institutional, and Commercial activity shall be embedded in Neighborhoods and Centers, not isolated in remote single-use complexes.
 - h. That schools shall be sized and located to enable children to walk or bicycle to them, and promote schools as essential to neighborhood vitality.
 - i. That a range of Open Space including Parks, Squares, and playgrounds shall be distributed within Neighborhoods and Centers.
- 1.2.3 **The Block and the Building**
- a. That buildings and landscaping shall contribute to the physical definition of Thoroughfares as Civic Spaces.
 - b. That development shall adequately accommodate automobiles while giving the pedestrian and the spatial form of public space preeminence.
 - c. That the design of streets and buildings shall reinforce safe environments, but not at the expense of accessibility.
 - d. That architecture and landscape design shall grow from local climate, topography, history, and building practice.
 - e. That buildings shall provide their inhabitants with a clear sense of geography and climate through energy efficient methods.
 - f. That Civic Buildings and public gathering places shall be provided locations that reinforce community identity and support self-government.
 - g. That Civic Buildings shall be distinctive and appropriate to a role more important than the other buildings that constitute the fabric of the city.
 - h. That the harmonious and orderly evolution of urban areas shall be secured through graphic, form-based codes that serve as guides for change.
- 1.2.4 **The Transect**
- a. That Communities shall provide meaningful choices in living arrangements as manifested by distinct physical environments.
 - b. That the Transect Zone descriptions on Table 1 shall constitute the Intent of this Code with regard to the general character of each of these environments.

1.3 APPLICABILITY

- 1.3.1 The functions and buildings on all land designated and classified as subject to the application of the K20 District zoning classification shall conform exclusively to this Code.
- 1.3.2 Provisions of this Code are activated by "shall" when required; "should" when recommended; and "may" when optional.
- 1.3.3 The provisions of this Code, when in conflict, shall take precedence over those of other codes, ordinances, regulations and standards except where the Director determines that the application of this rule will result in a material threat to life, safety, or the destruction of public or private property.
- 1.3.4 The Mesquite Zoning Ordinance and Mesquite Subdivision Ordinance shall continue to be applicable to issues not covered by this Code.
- 1.3.5 Capitalized terms used throughout this Code may be defined in Article 5 Definitions of Terms. Those terms not defined in Article 5 shall be accorded the commonly accepted meanings. In the event of conflict, the definitions of this Code shall take precedence.
- 1.3.6 Where in conflict, numerical metrics shall take precedence over graphic metrics.

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1.4 DEVELOPMENT PROCESS

- 1.4.1 The K20 District is a Floating Zone established in Sections 4-100 and 4-1100 of the MZO. At the time the Applicant chooses to develop, a New Community Plan application shall be submitted in accordance with the provisions of this Code. Once approved by the City Council, the land included within the New Community Plan shall become a Community Planning Area and the K20 District shall attach to the land. Within the Community Planning Area, this Code shall be the exclusive and mandatory zoning regulation, and its provisions shall be applied in their entirety (refer to Section 3.1).
- 1.4.2 The geographic locations of the Sectors and the standards for the Transect Zones shall be determined as set forth in Article 2, Article 3 and Article 4. Projects that require no deviation from an adopted Regulating Plan and the requirements of the Code shall be processed administratively. The submittal shall consist of such information as the Director may require in order to evaluate compliance with this Code. If the project requires new infrastructure, or if the viability of the project is affected by development regulations external to this Code, the Director may provide for concurrent review of the project through the Development Review Process.
- 1.4.3 A deviation from the requirements of this Code may be approved by either Warrant or Variance.
- a. A Warrant is an administrative ruling that would permit a practice that is not consistent with or covered by a specific provision of this Code, but is justified by its Intent (Section 1.2). Variances may be granted in accordance with the procedures set forth in MZO §5-402.
 - b. The Director shall determine whether a deviation requires a Warrant or Variance.
- 1.4.4 The Director shall have the authority administratively to approve or disapprove a request for a Warrant. Such decision shall be made in writing and made a permanent part of the applicable Regulating Plan.
- 1.4.5 Special District and TOD Overlay designations may be granted in accordance with the procedures set forth in MZO §5-302.
- 1.4.6 The Board of Adjustment is not authorized to grant relief from, or hear administrative appeals from, the following standards and requirements:
- a. Sector allocations and Community types in the Regional Sector Plan (Article 2)
 - b. Community types permitted within designated Sectors (Table 3-1)
 - c. Transect Allocations required for each Community type (Table 3-1)
 - d. The maximum Block Perimeter and Block Face (Table 3-4)
 - d. The maximum dimensions of traffic lanes (Table 3-6)
 - e. The required provision of Rear Alleys in Section 4.10
 - f. Parking Location Standards in Section 4.10
 - g. The permission to build Accessory Buildings
 - h. The minimum requirements for parking (Table 4-4)
 - i. Parking and Density Calculations in Section 4.9
 - j. A building or specific function not permitted (Table 4-4 and 4-5)
 - k. The Architectural Standards in Section 4.14 and Table 4-3A-J
 - l. The Signage Standards in Section 4.13

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1.5 SUCCESSION

- 1.5.1 Twenty years after approval of a Regulating Plan, the Director shall initiate a review of the Regulating Plan to determine whether each Transect Zone, except the (T-1) Natural Zones and (T-2) Rural Zones, should be rezoned to the successional (next higher) Transect Zone.

1.6 INCENTIVES

- 1.6.1 To encourage the implementation of this Code, the City Council, in its sole discretion, may grant one or more incentives in accordance with the strategic policies of the ETJ Plan, and to the extent authorized by state law. The Applicant, or the Director on his initiative, may submit an application for incentives to the City Council for consideration.

ARTICLE 2. REGIONAL SCALE PLAN
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2.1 **SECTOR PLANNING**

- 2.1.1 Prior to the City Council designating and classifying land as subject to the application of the K20 District, the Director shall prepare (or amend) a SmartCode® Regional Sector Plan for the purpose of allocating Sectors. For lands within the City of Mesquite that have been mapped pursuant to the Regional Sector Plan, Sections 2.2, et seq. prescribe the Community types permitted in each Sector. Articles 3 and 4 regulate the standards of those Community types.
- 2.1.2 The Regional Sector Plan may include the assignment of preferred Community types at geographical locations. The submittal of an application for a New Community Plan that does not conform to the preferred Community type, or that includes land outside a preferred Community type or within different Community types, may be reconciled to the Regional Sector Plan as follows:
- a. The Director may interpolate the preferred Community type based upon the intent of the Regional Sector Plan as demonstrated by the proximity of other Community types;
 - b. The Director may authorize any of the Community types permitted by this Article within the mapped Sector;
 - c. The Director may require the Applicant to lay out the Regulating Plan in a manner that merges and achieves the desired intensities of the two different Community types; or
 - d. The Applicant may request a concurrent amendment to the Regional Sector Plan.

2.2 **(O-1) PRESERVED and (O-2) RESERVED OPEN SECTORS**

- 2.2.1 Development shall not be permitted within the Preserved or Reserved Open Sectors.

2.3 **(G-1) RESTRICTED GROWTH SECTOR**

- 2.3.1 Within the Restricted Growth Sector (G-1), Communities in the pattern of Clustered Land Development (CLD) shall be permitted By Right.

2.4 **(G-2) CONTROLLED GROWTH SECTOR**

- 2.4.1 Within the Controlled Growth Sector (G-2), Communities in the pattern of Clustered Land Development (CLD), Traditional Neighborhood Development (TND), and Town Center Development (TCD) shall be permitted By Right.

2.5 **(G-3) INTENDED GROWTH SECTOR**

- 2.5.1 Within the Intended Growth Sector (G-3), Communities in the pattern of Traditional Neighborhood Development (TND), Town Center Development (TCD), Regional Neighborhood Development (RND), and Regional Center Development (RCD) shall be permitted By Right.
- 2.5.2 Any TND, TCD, RND or RCD on an existing or projected rail or Bus Rapid Transit (BRT) network may be re-designated in whole or in part as TOD (refer to Section 3.3.6).

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3.1 APPLICATION (A sample New Community Plan is provided in the Appendix)

- 3.1.1 Within the Growth Sectors as shown on the Regional Sector Plan, the provisions of Article 3 and this Code in general shall be available By Right, upon request by the Applicant.
- 3.1.2 New Community Plans shall be prepared consistent with the Regional Sector Plan. New Community Plans may contain more than one Community and/or more than one Community type.
- 3.1.3 New Community Plans submitted in accordance with the provisions of this Code for the appropriate Sector of the Regional Sector Plan shall be subject to public hearing and approval in accordance with MZO §5-302.
- 3.1.4 Once the City Council approves a New Community Plan by Ordinance, the parcel(s) shall become a Community Planning Area and shall be mapped as the K20 District with appropriate sub-districts for the various Transect Zones on the Official Zoning Map of the City of Mesquite. Within the Community Planning Area, this Code shall be the exclusive and mandatory zoning regulation, and its provisions shall be applied in their entirety.
- 3.1.5 New Community Plans may be prepared by an Applicant or by the City of Mesquite Planning Division and/or consultants under its supervision.
- 3.1.6 New Community Plans shall include a Regulating Plan consisting of one or more maps showing the following for each Community in the plan area, in compliance with the standards described in this Article:
 - a. Transect Zones
 - b. Civic Zones
 - c. Thoroughfare network
 - d. Special Requirements, if any
 - e. Special Districts, if any
 - f. Numbers of Warrants or Variances, if any
- 3.1.7 New Community Plans shall include one set of preliminary site plans for each Transect Zone, as provided by Table 4-6A-D and Section 4.1.3a.

3.2 SEQUENCE OF COMMUNITY DESIGN

- 3.2.1 The site shall be structured using one or several Pedestrian Sheds, responding to existing conditions, adjacent developments, connecting Thoroughfares, and natural features. The site or any Community within it may be smaller than its Pedestrian Shed.
- 3.2.2 The Pedestrian Sheds shall determine the approximate boundaries and centers of the Community types.
- 3.2.3 Remnants of the site outside the Community or Communities shall be assigned to the (T-1) Natural Zone or the (T-2) Rural Zone By Right, other Transect Zones or Civic Space by Warrant, or Special District by the procedure set forth in Section 1.4.5.
- 3.2.4 Transect Zones (Section 3.4) shall be allocated within the boundaries of each Community according to its type, according to Section 3.4.
- 3.2.5 Density shall be calculated according to Section 3.5.
- 3.2.6 The Thoroughfare network shall be laid out according to Section 3.6.

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- 3.2.7 Civic Zones shall be assigned according to Section 3.7.
- 3.2.8 Special Districts, if any, shall be assigned according to Section 3.10.
- 3.2.9 During the Community design phase Applicants shall review Storm Drainage within the Community in order to incorporate the Light Imprint Storm Drainage Tools (Section 3.9) and possibly use some of the tools as an amenity for the Community.

3.3 COMMUNITY TYPES

- 3.3.1 Community types shall be permitted in Sectors as provided in Article 2.
- 3.3.2 **Clustered Land Development (CLD)**
 - a. A Clustered Land Development (CLD) shall be structured by one Standard Pedestrian Shed and shall consist of no fewer than 30 acres and no more than 80 acres.
 - b. A CLD shall include Transect Zones as allocated: a minimum of 50% (T-1) Natural Zone and/or (T-2) Rural Zone, 10-30% (T-3) Sub-Urban Zone, and 20-40% (T-4) General Urban Zone.
 - e. If multiple adjacent parcels are needed to assemble a CLD, the parcels shall be planned simultaneously
- 3.3.3 **Traditional Neighborhood Development (TND)**
 - a. A Traditional Neighborhood Development (TND) shall be structured by one Standard or Linear Pedestrian Shed and shall be no fewer than 80 acres and no more than 160 acres.
 - b. A TND shall include Transect Zones as allocated: no minimum for (T-2) Rural Zone, 20-30% (T-3) Sub-Urban Zone, 40-60% (T-4) General Urban Zone, and 10-30% (T-5) Urban Center Zone.
 - c. If multiple adjacent parcels are needed to assemble a TND, the parcels shall be planned simultaneously.
 - d. Larger sites shall be designed and developed as multiple Communities, each subject to the individual Transect Zone requirements for its type as allocated on Table 3-1 and Table 4-11(a).
- 3.3.4 **Town Center Development (TCD)**
 - a. A Town Center Development (TCD) shall be structured by one Standard or Linear Pedestrian Shed and shall be no fewer than 80 acres and no more than 160 acres.
 - b. A TCD shall include Transect Zones as allocated: 10-30% (T-3) Sub-Urban Zone, 30-60% (T-4) General Urban Zone, and 10-30% (T-5) Urban Center Zone.
 - c. If multiple adjacent parcels are needed to assemble a TCD, the parcels shall be planned simultaneously.
 - d. Larger sites shall be designed and developed as multiple Communities, each subject to the individual Transect Zone requirements for its type as allocated on Table 3-1 and Table 4-11(a).
- 3.3.5 **Regional Neighborhood Development (RND)**
 - a. A Regional Neighborhood Development (RND) shall be structured by one Long Pedestrian Shed or Linear Pedestrian Shed and shall be no fewer than 80 acres and no more than 640 acres.
 - b. A RND shall include Transect Zones as allocated: 10-30% (T-3) Sub-Urban Zone, 10-30% (T-4) General Urban Zone, and 40-80% (T-5) Urban Center Zone.

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- c. If multiple adjacent parcels are needed to assemble a RND, the parcels shall be planned simultaneously.
 - d. For larger sites, an RND may be adjoined without buffer by one or more TNDs and TCDs, each subject to the individual Transect Zone requirements for TND and TCD as allocated on Table 3-1 and Table 4-11(a).
- 3.3.6 Regional Center Development (RCD)**
- a. A Regional Center Development (RCD) shall be structured by one Long Pedestrian Shed or Linear Pedestrian Shed and shall consist of no fewer than 80 acres and no more than 640 acres.
 - b. A RCD shall include Transect Zones as allocated: 10-30% (T-4) General Urban Zone, 10-30% (T-5) Urban Center Zone, and 40-80% (T-6) Urban Core Zone.
 - c. For larger sites, an RCD may be adjoined without buffer by one or more TNDs and TCDs, each subject to the individual Transect Zone requirements for TND and TCD as allocated on Table 3-1 and Table 4-11(a).
 - d. If multiple adjacent parcels are needed to assemble a RCD, the parcels shall be planned simultaneously.
- 3.3.7 Transit-Oriented Development (TOD)**
- a. Any TND, TCD, RND or RCD on an existing or projected rail or Bus Rapid Transit (BRT) network may be re-designated in whole or in part as TOD and permitted the higher Density represented by the Effective Parking allowance in Section 4.9.2d.
 - b. The use of a TOD overlay requires approval by the procedure set forth in Section 1.4.5.

3.4 TRANSECT ZONES

- 3.4.1 Transect Zones shall be assigned and mapped on each New Community Plan according to the percentages allocated on Tables 3-1 and Table 4-11(a).
- 3.4.2 A Transect Zone may include any of the elements indicated for its T-Zone number throughout this Code, in accordance with Intent described in Table 3-2 and the metric standards summarized in Table 4-11.
- 3.4.3 Within any Community type, the percentage of Commercial Functions shall not be reduced below the allocation ranges specified in Table 3-3.
- 3.4.4 For any given building, a Residential Function shall not be converted to a Commercial Function until the minimum Residential requirements of Table 3-3 are satisfied. Once the minimum Residential requirements are satisfied, the Function of a building shall be determined according to the market, the applicable Transect Zone and applicable building codes.
- 3.4.5 For any given building, a Commercial Function shall not be converted to a Residential Function until the minimum Commercial Functions percentages allocated in Table 3-3 are satisfied. Once the minimum percentages are satisfied, the Function of a building shall be determined according to the market, the applicable Transect Zone and applicable building codes.

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TABLE 3-1: Sector/Community Allocation:




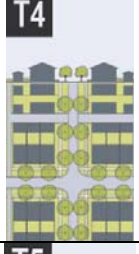
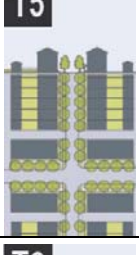
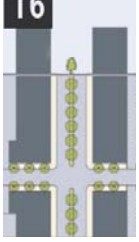
The table defines the geography, including both natural and infrastructure elements, determining areas that are or are not suitable for development. Certain Community types of various intensities are permitted in specific Sectors. Additionally, the table allocates the proportions of Transect Zones within each Community Type.

SURFACE WATERBODIES PROTECTED WETLANDS PROTECTED HABITAT RIPARIAN CORRIDORS PURCHASED OPEN SPACE CONSERV. EASEMENTS LAND TRUST FLOOD PLAIN TRANSPORT. CORRIDORS CLD OPEN SPACE		OPEN SPACE TO BE ACQUIRED CORRIDORS TO BE ACQUIRED BUFFERS TO BE ACQUIRED LEGACY WOODLAND LEGACY FARMLAND LEGACY VIEWSHEDS CLD RESIDUAL OPEN SPACE		MEDIUM SLOPES WOODLANDS		PROXIMITY TO ROADWAYS		PROXIMITY TO MAJOR ROADWAYS AND TRANSIT				
PRIMARYLY OPEN SPACE				PRIMARYLY NEW COMMUNITIES				SUCCESSIONAL COMMUNITIES				
01 PRESERVED OPEN SECTOR		02 RESERVED OPEN SECTOR		G1 RESTRICTED GROWTH SECTOR		G2 CONTROLLED GROWTH SECTOR		G3 INTENDED GROWTH SECTOR				
				CLD		CLD	TND	TCD	TND	TCD	RND	RCD
T-1					50% MIN		50% MIN					
T-2							NO MIN		NO MIN			
T-3	NO DEVELOPMENT		NO DEVELOPMENT		10-30%		10-30%	10-30%	10-30%	10-30%	10-30%	
T-4					20-40%		20-40%	30-60%	30-60%	30-60%	30-60%	10-30%
T-5								10-30%	10-30%	10-30%	10-30%	40-80%
T-6												40-80%

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TABLE 3-2: Transect Zone Descriptions

The table provides general descriptions of the character of each Transect Zone.

 <p>T1</p>	<p>T-1 NATURAL T-1 Natural Zone consists of lands approximating or reverting to a wilderness condition, including lands unsuitable for settlement due to topography, hydrology or vegetation.</p>	<p><u>General Character:</u> Natural landscape with some agricultural use <u>Building Placement:</u> Not applicable <u>Frontage Types:</u> Not applicable <u>Typical Building Height:</u> Not applicable <u>Type of Civic Space:</u> Not applicable</p>
 <p>T2</p>	<p>T-2 RURAL T-2 Rural Zone consists of sparsely settled lands in open or cultivated states. These include woodland, agricultural land, grassland, and irrigable desert. Typical buildings are farmhouses, agricultural buildings, cabins, and villas.</p>	<p><u>General Character:</u> Primarily agricultural with woodland & wetland and scattered buildings <u>Building Placement:</u> Variable Setbacks <u>Frontage Types:</u> Not applicable <u>Typical Building Height:</u> 1- to 2-Story <u>Type of Civic Space:</u> Parks, Greenways</p>
 <p>T3</p>	<p>T-3 SUB-URBAN T-3 Sub-Urban Zone consists of low density residential areas, adjacent to higher zones that have some mixed use. Home occupations and outbuildings are allowed. Planting is naturalistic and setbacks are relatively deep. Blocks may be large and the roads irregular to accommodate natural conditions.</p>	<p><u>General Character:</u> Lawns, and landscaped yards surrounding detached single-family houses; pedestrians occasionally <u>Building Placement:</u> Large and variable front and side yard Setbacks <u>Frontage Types:</u> Porches, fences, naturalistic tree planting <u>Typical Building Height:</u> 1- to 2-Story with some 3-Story <u>Type of Civic Space:</u> Parks, Greenways</p>
 <p>T4</p>	<p>T-4 GENERAL URBAN T-4 General Urban Zone consists of a mixed use but primarily residential fabric. It may have a wide range of building types: single, sideyard, and rowhouses. Setbacks and landscaping are variable. Streets with curbs and sidewalks define medium-sized blocks.</p>	<p><u>General Character:</u> Mix of Houses, Townhouses & small Apartment buildings, with scattered Commercial activity; balance between landscape and buildings; presence of pedestrians <u>Building Placement:</u> Shallow to medium front yard Setbacks <u>Frontage Types:</u> Porches, fences, Dooryards <u>Typical Building Height:</u> 2- to 3-Story with a few taller Mixed Use buildings <u>Type of Civic Space:</u> Squares, Greens</p>
 <p>T5</p>	<p>T-5 URBAN CENTER T-5 Urban Center Zone consists of higher density mixed use buildings that accommodate retail, offices, rowhouses and apartments. It has a tight network of streets, with wide sidewalks, steady street tree planting and buildings set close to sidewalks.</p>	<p><u>General Character:</u> Shops mixed with Townhouses, larger Apartment houses, Offices, workplace, and Civic buildings; predominantly attached buildings; trees within the public right-of-way; substantial pedestrian activity <u>Building Placement:</u> Shallow Setbacks or none; buildings oriented to street defining a street wall <u>Frontage Types:</u> Stoops, Shopfronts, Galleries <u>Typical Building Height:</u> 3- to 5-Story with some variation <u>Type of Civic Space:</u> Parks, Plazas and Squares, median landscaping</p>
 <p>T6</p>	<p>T-6 URBAN CORE T-6 Urban Core Zone consists of the highest density and height, with the greatest variety of uses, and civic buildings of regional importance. It may have larger blocks; streets have steady street tree planting and buildings are set close to wide sidewalks. Typically only large towns and cities have an Urban Core Zone.</p>	<p><u>General Character:</u> Medium to high-Density Mixed Use buildings, entertainment, Civic and cultural uses. Attached buildings forming a continuous street wall; trees within the public right-of-way; highest pedestrian and transit activity <u>Building Placement:</u> Shallow Setbacks or none; buildings oriented to street, defining street wall <u>Frontage Types:</u> Stoops, Dooryards, Forecourts, Shopfronts, Galleries, and Arcades <u>Typical Building Height:</u> 4- plus Story with a few shorter buildings <u>Type of Civic Space:</u> Parks, Plazas and Squares; median landscaping</p>

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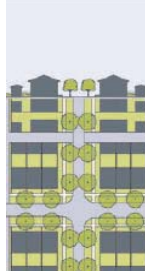
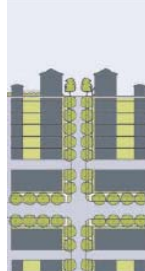
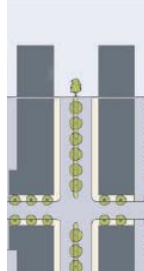
3.5 DENSITY CALCULATIONS

- 3.5.1 All areas of the New Community Plan site that are not part of the (O-1) Preserved Sector shall be considered cumulatively the Net Site Area. The Net Site Area shall be allocated to the various Transect Zones according to the parameters specified in Table 3-1.
- 3.5.2 Density shall be expressed in terms of housing units per acre as specified for the area of each Transect Zone by Table 3-3. For purposes of Density calculation, the Transect Zones include the Thoroughfares but not land assigned to Civic Zones.
- 3.5.3 Within the percentage range shown on Table 3-3 for Commercial Functions, the housing units specified on Table 3-3 shall be exchanged at the following rates:
 - a. For Lodging: 2 bedrooms for each unit of Net Site Area Density.
 - b. For Office or Retail: 1000 square feet for each unit of Net Site Area Density.
 - c. The number of units exchanged shall be subject to approval by Warrant.
- 3.5.4 The housing units and Commercial Functions for each Transect Zone shall be subject to further adjustment:
 - a. At the building scale as limited by Table 4-4, Table 4-7 and Section 4.9.
 - b. To ensure Residential densities sufficient to support walk-to retail.
- 3.5.5 A minimum Residential housing mix shall be required for each TND and TCD as follows:
 - a. General Urban Zone (T-4) – At least three Building Disposition types, as delineated in Table 4-1, with each type at least 20% of the total units.

TABLE 3-3: Density

The density of each Transect Zone shall be regulated by the Base Residential Density standards here in.

BASE RESIDENTIAL DENSITY WITHIN PERMITTED COMMUNITY TYPES

						
	T-1	T-2	T-3	T-4	T-5	T-6
	NATURAL ZONE	RURAL ZONE	SUB-URBAN ZONE	GENERAL URBAN ZONE	URBAN CENTER ZONE	URBAN CORE ZONE
HOUSING UNITS BY RIGHT	By Ordinance	1 unit / ac. gross	6 units / ac. gross	12 units / ac. gross	24 units / ac. gross	96 units / ac. gross
COMMERCIAL FUNCTIONS	by Ordinance	by Ordinance	10-20%	20-30%	30-50%	50-70%

3.6 THOROUGHFARE STANDARDS

3.6.1 General

- a. Thoroughfares shall be designed and constructed in context with the urban form and desired design speed of the Transect Zones through which they pass, as specified in Table 3-6. The Public Frontages of Thoroughfares that pass from one Transect Zone to another shall be adjusted accordingly or, alternatively, the Transect Zone may

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follow the alignment of the Thoroughfare to the depth of one Lot, retaining a single Public Frontage throughout its trajectory.

- b. Within the most rural Transect Zones (T-1 Natural and T-2 Rural) pedestrian comfort shall be a secondary consideration of the Thoroughfare. Design conflict between vehicular and pedestrian generally shall be decided in favor of the vehicle. Within the more urban Transect Zones (T-3 Sub-Urban through T-6 Urban Core) pedestrian comfort shall be a primary consideration of the Thoroughfare. Design conflict between vehicular and pedestrian movement generally shall be decided in favor of the pedestrian.
- c. The Thoroughfare network shall be designed to define Blocks not exceeding the size prescribed in Table 3-4. The perimeter shall be measured as the sum of Lot Frontage Lines. Block Perimeter at the edge of the development parcel shall be subject to approval by Warrant.
- d. All Thoroughfares shall terminate at other Thoroughfares, forming a network. Internal Thoroughfares shall connect wherever possible to those on adjacent sites. Cul-de-sacs shall be subject to approval by Warrant to accommodate specific site conditions only. At every termination point of a street, or where it makes a ninety degree turn (plus or minus fifteen degrees), the Thoroughfare shall terminate on a building or vertical element in order to establish a Terminated Vista, unless the street terminates into a Park or natural area.
- e. Each Lot shall Enfront a vehicular Thoroughfare, except that 20% of the Lots within each Transect Zone may Enfront a Passage.
- f. Thoroughfares along a designated B-Grid may be exempted by Warrant from one or more of the specified Public Frontage or Private Frontage requirements. See Table 4-3A-J.
- g. A deviation from the Curb radii specified in Table 3-6 may be approved by Warrant so long as the requested Curb radius falls within the Curb radius range for the appropriate Public Frontage type as provided in Table 3-5B.
- h. Slip Roads along Boulevard Thoroughfares shall be right-only to avoid conflict at intersections.
- i. Standards and assemblies for State controlled Thoroughfares shall be coordinated and approved by the State prior to the approval of a New Community Plan. Standards and assemblies taken to the State shall come from the Thoroughfare Assemblies shown in Table 3-6. Section 3.6.1(h) is subject to any amendment of State Roadway Design Manual.
- j. Standards for Paths and Bicycle Trails shall be approved by Warrant.
- k. Standards for Thoroughfares within Special Districts shall be determined by the procedure set forth in MZO §5-302.

3.6.2 Vehicular Lanes

- a. Thoroughfares may include vehicular lanes in a variety of widths for parked and for moving vehicles, including bicycles. Vehicular lanes shall be regulated through the Thoroughfare Assemblies shown in Table 3-6.
- b. A bicycle network consisting of Bicycle Trails, Bicycle Routes and Bicycle Lanes should be provided throughout as defined in Article 5: Definitions of Terms and allocated as specified in Table 4-11(d). The community bicycle network shall be connected to existing or proposed regional networks wherever possible.

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3.6.3 Public Frontages

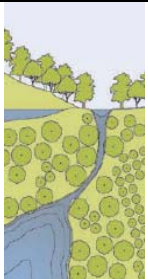


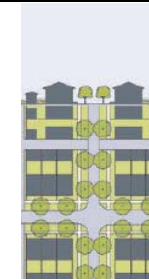
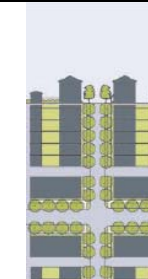
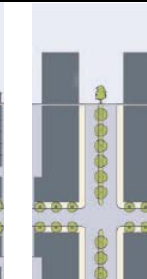
- a. **General to all Transect Zones**
 - i. The Public Frontage contributes to the character of the Transect Zone, and includes the types of Sidewalk, Curb, Planter, Bike Lanes and street trees.
 - ii. Public Frontages shall be designed as shown in Table 3-5A and Table 3-5B and allocated within Transect Zones as specified in Table 4-11(d).
 - iii. Within the Public Frontages, the prescribed types of Public Planting and Public Lighting shall be as shown in Table 3-5A, Table 3-5B, Table 4-8 and Table 4-10. The spacing may be adjusted by Warrant to accommodate specific site conditions.
 - iv. Tree spacing shall begin no less than 30 feet from a stop or yield sign at an intersection.
 - v. Trees shall be planted below the grade of the sidewalk and the street in structural cells with sufficient root space.
 - vi. Rain Gardens and Bioswales shall be installed to infiltrate runoff from parking lots, Thoroughfares, Plazas and other impervious surfaces.
 - vii. Where vegetative solutions are not feasible, porous concrete or porous asphalt shall be specified for Sidewalks, parking lots, and Plazas to infiltrate stormwater.
- b. **Specific to Natural, Rural and Sub-Urban Zones (T-1, T-2 & T-3)**
 - i. The Public Frontage shall include trees of various species, naturalistically clustered, as well as understory.
 - ii. The introduced landscape shall consist primarily of native species requiring minimal irrigation, fertilization and maintenance. Lawn shall be permitted only by Warrant.
- c. **Specific to Sub-Urban and General Urban Zones (T-3 & T-4)**
 - i. Native plant perennial landscapes shall replace turf grass where possible and be very diverse. They shall be placed lower than walkways, not mounded up.
- d. **Specific to General Urban, Urban Center and Urban Core Zones (T-4, T-5 & T-6)**
 - i. In order to survive within tree wells and narrow planter strips, the introduced landscape shall consist primarily of durable species tolerant of soil compaction.
- e. **Specific to General Urban Zone (T-4)**
 - i. The Public Frontage shall include trees planted in a regularly-spaced Allee pattern of single species with shade canopies of a height that, at maturity, clears at least one Story.
- f. **Specific to Urban Center and Urban Core Zones (T-5 & T-6)**
 - i. The Public Frontage shall include trees planted in a regularly-spaced Allee pattern of single species with shade canopies of a height that, at maturity, clears at least one Story. At Retail Frontages, the spacing of the trees may be irregular, to avoid visually obscuring the shopfronts.
 - ii. Streets with a Right-of-Way width of 40 feet or less shall be exempt from the tree requirement.

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TABLE 3-4: Block Size

The maximum Block Size permitted in each Transect Zone shall be regulated by the Block Perimeter & Face standards here in.

BLOCK SIZE

						
	T-1	T-2	T-3	T-4	T-5	T-6
	NATURAL ZONE	RURAL ZONE	SUB-URBAN ZONE	GENERAL URBAN ZONE	URBAN CENTER ZONE	URBAN CORE ZONE
BLOCK PERIMETER	no maximum	no maximum	2600 ft. max.	2200 ft. max.	2000 ft. max.	1600 ft. max.
BLOCK FACE	no maximum	no maximum	1000 ft. max.	800 ft. max.	600 ft. max.	500 ft. max.

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TABLE 3-5A: Public Frontages – General:

The character and arrangement of the Public Frontage is regulated by the Public Frontage Type standards herein. The Public Frontage is the area between the private Lot line and the edge of the vehicular lanes. Regulation of the Public Frontage is crucial to the establishment of a vibrant public realm, and is one of the highest priorities of New Urbanism and Smart Growth. Public Frontage types are required for all Thoroughfares within the District; specific dimensions are given in Table 3-5B.

PLAN		
LOT	R.O.W.	
PRIVATE FRONTAGE	PUBLIC FRONTAGE	
<p>Highway (HW): This Frontage has open Swales drained by percolation, Bicycle Trails and no parking. The landscaping consists of the natural condition or multiple species arrayed in naturalistic clusters. Buildings are buffered by distance or berms.</p>		<div style="display: flex; flex-direction: column; align-items: center;"> <div style="border: 1px solid black; padding: 2px;">T1</div> <div style="border: 1px solid black; padding: 2px;">T2</div> <div style="border: 1px solid black; padding: 2px;">T3</div> </div>
<p>Rural Road (RD): This Frontage has open Swales drained by percolation and a walking Path or Bicycle Trail along one or both sides and Yield parking. The landscaping consists of multiple species arrayed in naturalistic clusters.</p>		<div style="display: flex; flex-direction: column; align-items: center;"> <div style="border: 1px solid black; padding: 2px;">T1</div> <div style="border: 1px solid black; padding: 2px;">T2</div> <div style="border: 1px solid black; padding: 2px;">T3</div> </div>
<p>Street (ST): This Frontage has raised Curbs drained by inlets and Sidewalks separated from vehicular lanes by individual or continuous Planters, with parking on one or both sides. The landscaping consists of street trees of a single or alternating species aligned in a regularly spaced Allee, with the exception that Streets with a right-of-way (R.O.W.) width of 40 feet or less are exempt from tree requirements.</p>		<div style="display: flex; flex-direction: column; align-items: center;"> <div style="border: 1px solid black; padding: 2px;">T3</div> <div style="border: 1px solid black; padding: 2px;">T4</div> <div style="border: 1px solid black; padding: 2px;">T5</div> </div>
<p>Avenue (AV): This Frontage has raised Curbs drained by inlets and wide Sidewalks separated from the vehicular lanes by a narrow continuous Planter with parking on both sides. The landscaping consists of a single tree species aligned in a regularly spaced Allee.</p>		<div style="display: flex; flex-direction: column; align-items: center;"> <div style="border: 1px solid black; padding: 2px;">T3</div> <div style="border: 1px solid black; padding: 2px;">T4</div> <div style="border: 1px solid black; padding: 2px;">T5</div> <div style="border: 1px solid black; padding: 2px;">T6</div> </div>
<p>Commercial Street (CS) or Avenue (AV): This Frontage has raised Curbs drained by inlets and very wide Sidewalks along both sides separated from the vehicular lanes by separate tree wells with grates and parking on both sides. The landscaping consists of a single tree species aligned with regular spacing where possible, but clears the storefront entrances.</p>		<div style="display: flex; flex-direction: column; align-items: center;"> <div style="border: 1px solid black; padding: 2px;">T5</div> <div style="border: 1px solid black; padding: 2px;">T6</div> </div>
<p>Boulevard (BV): This Frontage has Slip Roads on both sides. It consists of raise Curbs drained by inlets and Sidewalks along both sides, separated from the vehicular lanes by Planters. The landscaping consists of double rows of a single tree species aligned in a regularly spaced Allee.</p>		<div style="display: flex; flex-direction: column; align-items: center;"> <div style="border: 1px solid black; padding: 2px;">T3</div> <div style="border: 1px solid black; padding: 2px;">T4</div> <div style="border: 1px solid black; padding: 2px;">T5</div> <div style="border: 1px solid black; padding: 2px;">T6</div> </div>

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TABLE 3-5B: Public Frontages – Specific:

This table assembles precise technical prescriptions and dimensions for the Public Frontage elements – Curbs, walkways and Planters – relative to specific Thoroughfare types within Transect Zones.

TRANSECT ZONE	T-1	T-2	T-3	T-1	T-2	T-3	T-3	T-4	T-4	T-5	T-5	T-6	T-5	T-6
Public Frontage Type	HW & RD			RD & ST			ST & AV		ST-AV-BV		CS-AV-BV		CS-AV-BV	
Assembly: The principal variables are the type and dimension of Curbs, walkways, Planters and landscape.														
Total Width	16-24 feet			12-24 feet			12-18 feet		12-18 feet		18-24 feet		18-30 feet	
Curb*: The detailing of the edge of the vehicular pavement, incorporating drainage.														
Type	Open Swale			Open Swale			Raised Curb		Raised Curb		Raised Curb		Raised Curb	
Radius	10-30 feet			10-30 feet			5-20 feet		5-20 feet		5-20 feet		5-20 feet	
Walkway The pavement dedicated exclusively to pedestrian activity.														
Type	Path Optional			Path			Sidewalk		Sidewalk		Sidewalk		Sidewalk	
Width	n/a			4-8 feet			4-8 feet		4-8 feet		12-20 feet		12-30 feet	
Planter The layer which accommodates street trees and other landscape.														
Arrangement	Clustered			Clustered			Regular		Regular		Regular		Opportunistic**	
Species	Multiple			Multiple			Single		Single		Single		Single	
Planter Type	Continuous Swale			Continuous Swale			Continuous Planter		Continuous Planter		Continuous Planter		Tree Well	
Planter Width	8-16 feet			8-16 feet			8-12 feet		8-12 feet		4-6 feet		4-6 feet	
Landscape The required tree form. (See Table 4-8)														
Lighting The required lighting fixture. (See Table 4-10)														

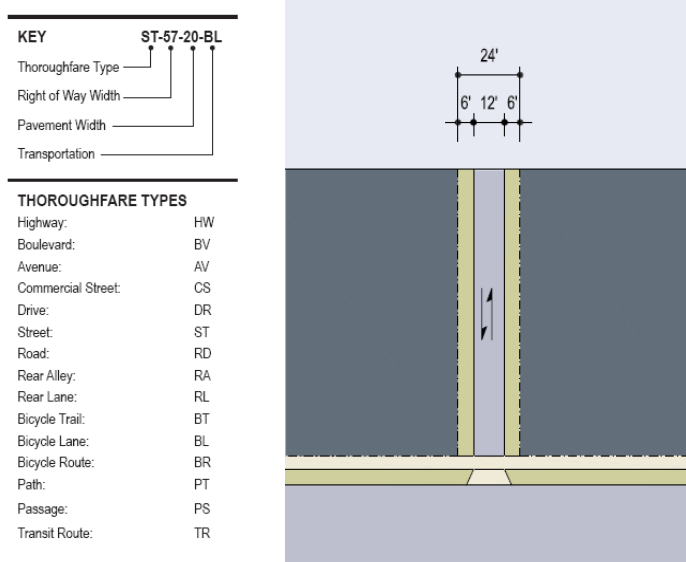
*The dimension of the curb radius is important. In the more urban Transect Zones, where there are more pedestrians, the Effective Turning Radius should be smaller to slow the speed of vehicle tracking and shorten pedestrian crossing distance.

**Where there is substantial street-level Retail, there is some discretion in the location of street trees so that Shopfronts and important architecture are not blocked, as they would be by regular spacing.

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TABLE 3-6: Thoroughfare Assemblies:

The character and assembly of Thoroughfares are regulated by the Thoroughfare Assemblies herein, these shall be applied to each Transect Zone within the District and are assembled from the elements that appear in the Institute of Transportation Engineers (ITE) Manual and incorporate the Public Frontages of Tables 3-5A and 3-5B. In addition to the Public Frontage Standards, the Thoroughfare Assemblies are likewise essential to the creation of a walkable community. People will walk in an environment only to the extent that they feel comfortable doing so. The Thoroughfare Assemblies required for Transect Zones in the District are shown in Table 3-6. The key gives the Thoroughfare type followed by the right-of-way width, followed by the pavement width, and in some instances followed by specialized transportation capability.



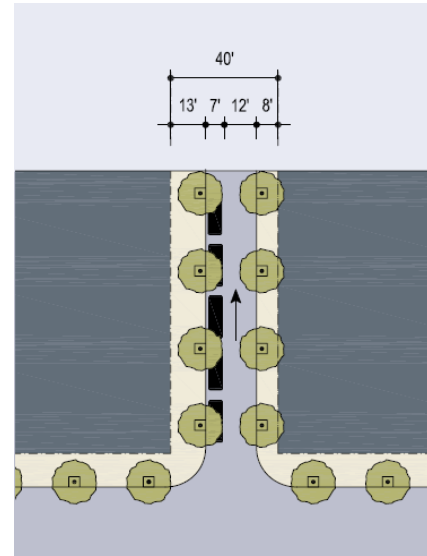
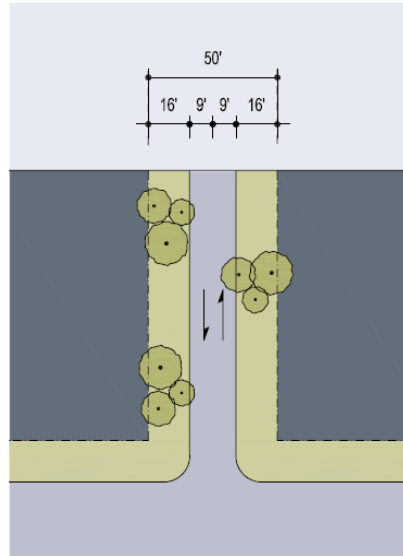
	RA-24-12
Functional Class	Local
Thoroughfare Type	Rear Alley
Transect Zone Assignment	T-3, T-4, T-5, T-6
Right-of-Way Width	24 feet
Pavement Width	12 feet
Movement	Yield Movement
Design Speed	10 MPH
Pedestrian Crossing Time	3.5 seconds
Traffic Lanes	n/a
Parking Lanes	None
Curb Radius	Taper
Walkway Type	None
Planter Type	None
Curb Type	Inverted Crown
Landscape Type	None
Transportation Provision	None

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TABLE 3-6: Thoroughfare Assemblies Continued:

KEY	
Thoroughfare Type	ST-57-20-BL
Right of Way Width	
Pavement Width	
Transportation	

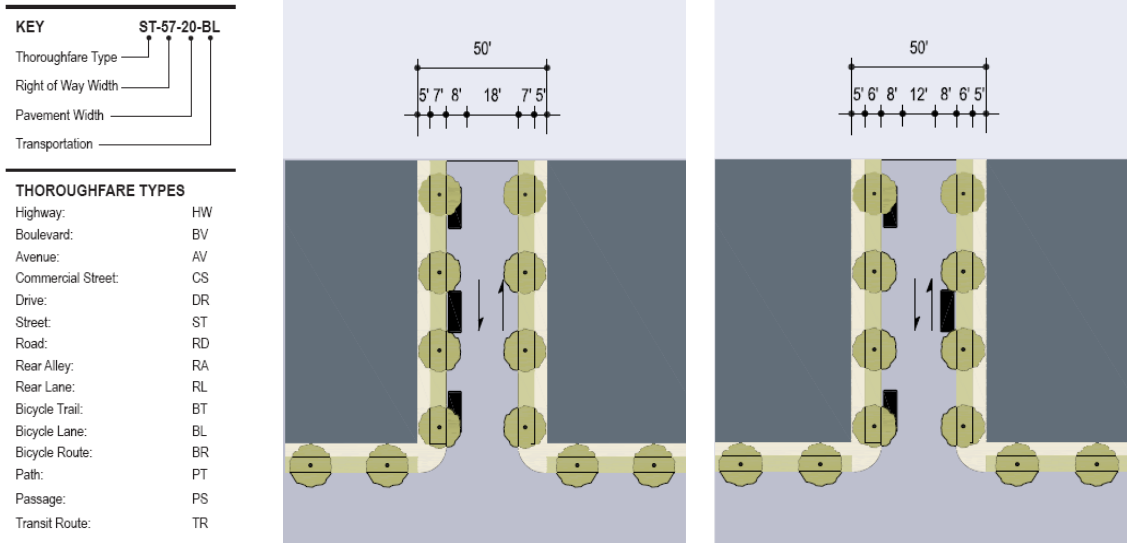
THOROUGHFARE TYPES	
Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR



	RD-50-18	ST-40-19
Functional Class	Collector/Local	Minor Arterial/Collector/Local
Thoroughfare Type	Road	Street
Transect Zone Assignment	T-1, T-2, T-3	T-5, T-6
Right-of-Way Width	50 feet	40 feet
Pavement Width	18 feet	19 feet
Movement	Slow Movement	Slow Movement
Design Speed	15 MPH	20 MPH
Pedestrian Crossing Time	5.1 seconds	5.4 seconds
Traffic Lanes	2 lanes	1 lane
Parking Lanes	None	One side @ 7 feet marked
Curb Radius	25 feet	15 feet
Walkway Type	Path optional	13/8 foot Sidewalk
Planter Type	Continuous Swale	4x4' tree well
Curb Type	Swale	Curb
Landscape Type	Trees Clustered	Trees at 30' o.c. Avg.
Transportation Provision	BT	

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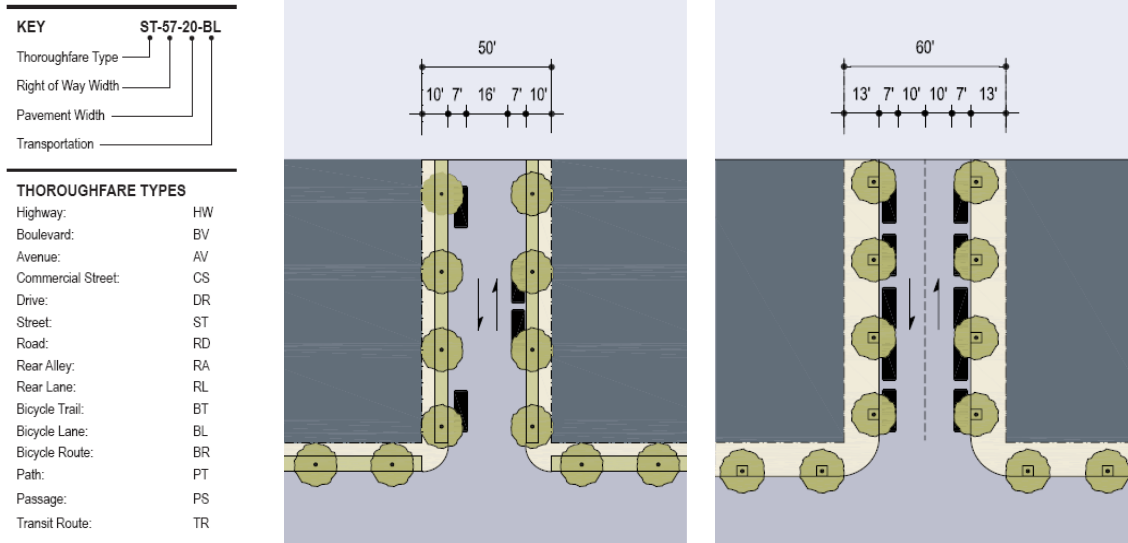
TABLE 3-6: Thoroughfare Assemblies Continued:



	ST-50-26	ST-50-28
Functional Class	Minor Arterial/Collector/Local	Minor Arterial/Collector/Local
Thoroughfare Type	Street	Street
Transect Zone Assignment	T-4, T-5, T-6	T-4, T-5, T-6
Right-of-Way Width	50 feet	50 feet
Pavement Width	26 feet	28 feet
Movement	Free Movement	Yield Movement
Design Speed	25 MPH	25 MPH
Pedestrian Crossing Time	7.4 seconds	7.6 seconds
Traffic Lanes	2 lanes	2 lanes
Parking Lanes	One side @ 8 feet marked	Both sides @ 8 feet marked
Curb Radius	10 feet	10 feet
Walkway Type	5 foot Sidewalk	5 foot Sidewalk
Planter Type	7 foot Continuous Planter	6 foot Continuous Planter
Curb Type	Curb	Curb
Landscape Type	Trees at 30' o.c. Avg.	Trees at 30' o.c. Avg.
Transportation Provision		

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TABLE 3-6: Thoroughfare Assemblies Continued:



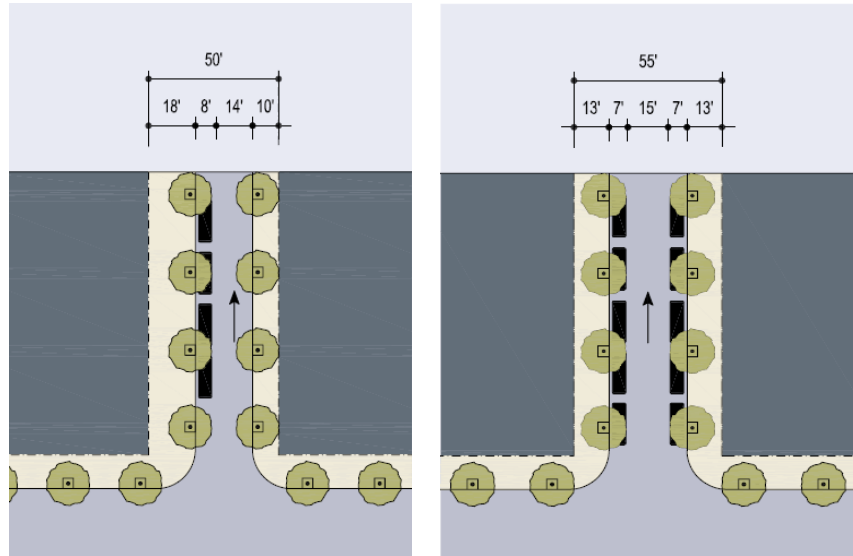
	ST-50-30	ST-60-34
Functional Class	Minor Arterial/Collector/Local	Minor Arterial/Collector/Local
Thoroughfare Type	Street	Street
Transect Zone Assignment	T-3, T-4	T-3, T-4, T-5
Right-of-Way Width	50 feet	60 feet
Pavement Width	30 feet	34 feet
Movement	Yeild Movement	Slow Movement
Design Speed	25 MPH	25-35 MPH
Pedestrian Crossing Time	8.5 seconds	9.7 seconds
Traffic Lanes	2 lanes	2 lanes
Parking Lanes	Both sides @ 7 feet unmarked	Both sides @ 7 feet marked
Curb Radius	10 feet	15 feet
Walkway Type	5 foot sidewalk	6 foot sidewalk
Planter Type	5 foot Continuous Planter	7 foot Continuous Planter
Curb Type	Curb	Curb
Landscape Type	Trees at 30' o.c. Avg.	Trees at 30' o.c. Avg.
Transportation Provision		BR

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TABLE 3-6: Thoroughfare Assemblies Continued:

KEY	
Thoroughfare Type	ST-57-20-BL
Right of Way Width	
Pavement Width	
Transportation	

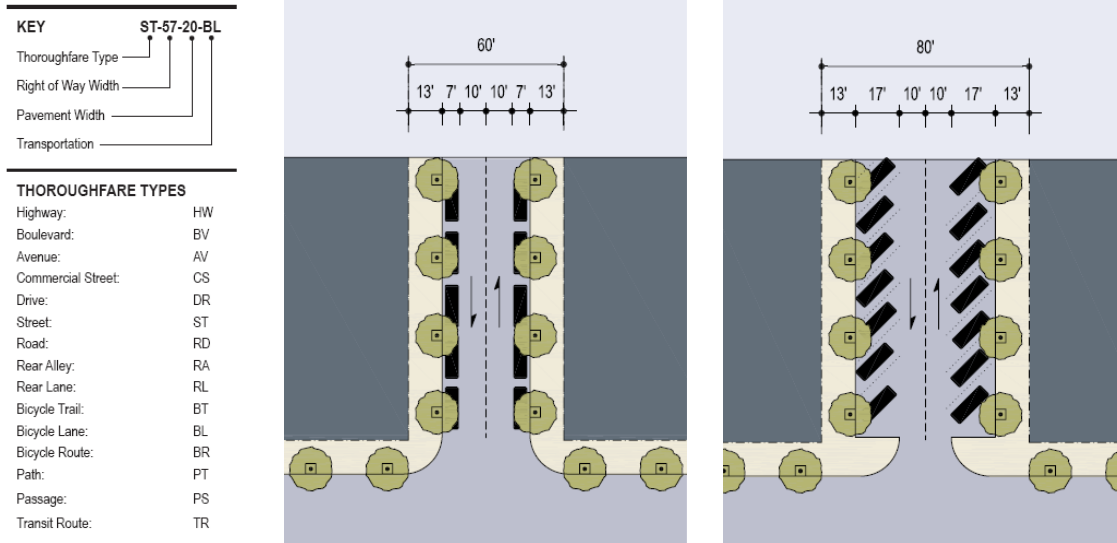
THOROUGHFARE TYPES	
Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR



	CS-50-22	CS-55-29
Functional Class	Minor Arterial/Collector/Local	Minor Arterial/Collector/Local
Thoroughfare Type	Commercial Street	Commercial Street
Transect Zone Assignment	T-5, T-6	T-5, T-6
Right-of-Way Width	50 feet	55 feet
Pavement Width	22 feet	29 feet
Movement	Slow Movement	Slow Movement
Design Speed	25 MPH	25 MPH
Pedestrian Crossing Time	6.2 seconds	8.2 seconds
Traffic Lanes	1 lane	1 lane
Parking Lanes	One side @ 8 feet marked	Both sides @ 7 feet marked
Curb Radius	15 feet	15 feet
Walkway Type	18/10 foot Sidewalk	13 foot Sidewalk
Planter Type	4x4' tree well	4x4' tree well
Curb Type	Curb	Curb
Landscape Type	Trees at 30' o.c. Avg.	Trees at 30' o.c. Avg.
Transportation Provision		

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TABLE 3-6: Thoroughfare Assemblies Continued:



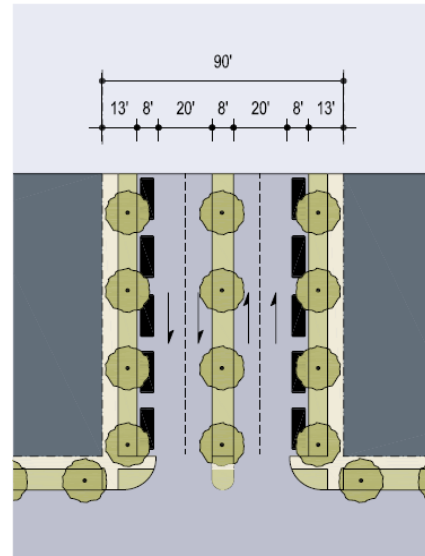
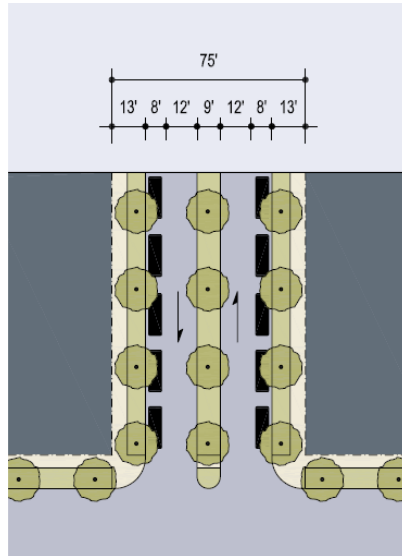
	CS-60-34	CS-80-54
Functional Class	Minor Arterial/Collector/Local	Minor Arterial/Collector/Local
Thoroughfare Type	Commercial Street	Commercial Street
Transect Zone Assignment	T-5, T-6	T-5, T-6
Right-of-Way Width	60 feet	80 feet
Pavement Width	34 feet	54 feet
Movement	Slow Movement	Slow Movement
Design Speed	25-35 MPH	25-35 MPH
Pedestrian Crossing Time	9.7 seconds	5.7 seconds at corners
Traffic Lanes	2 lanes	2 lanes
Parking Lanes	Both sides @ 7 feet marked	Both sides angled @ 17 feet marked
Curb Radius	10 feet	10 feet
Walkway Type	13 foot Sidewalk	13 foot Sidewalk
Planter Type	4x4' tree well	4x4' tree well
Curb Type	Curb	Curb
Landscape Type	Trees at 30' o.c. Avg.	Trees at 30' o.c. Avg.
Transportation Provision		

ARTICLE 3. NEW COMMUNITY SCALE PLANS
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TABLE 3-6: Thoroughfare Assemblies Continued:

KEY	
Thoroughfare Type	ST-57-20-BL
Right of Way Width	
Pavement Width	
Transportation	

THOROUGHFARE TYPES	
Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR



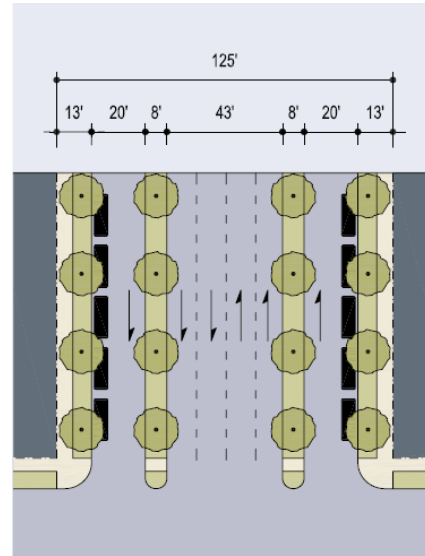
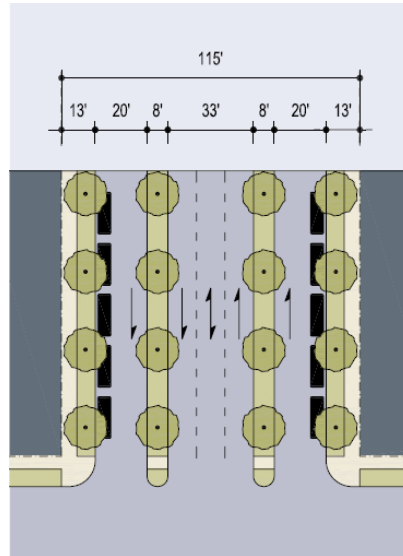
	AV-75-40	AV-90-56
Functional Class	Principal Arterial/Minor Arterial	Principal Arterial/Minor Arterial
Thoroughfare Type	Avenue	Avenue
Transect Zone Assignment	T-3, T-4, T-5	T-3, T-4, T-5
Right-of-Way Width	75 feet	90 feet
Pavement Width	40 feet total	56 feet total
Movement	Slow Movement	Slow Movement
Design Speed	25 MPH	25 MPH
Pedestrian Crossing Time	5.7 seconds – 5.7 seconds	5.7 seconds – 5.7 seconds at corners
Traffic Lanes	2 lanes	4 lanes
Parking Lanes	Both sides @ 8 feet marked	Both sides @ 8 feet marked
Curb Radius	10 feet	10 feet
Walkway Type	6 foot Sidewalk	6 foot Sidewalk
Planter Type	7 foot Continuous Planter	7 foot Continuous Planter
Curb Type	Curb or Swale	Curb or Swale
Landscape Type	Trees at 30' o.c. Avg.	Trees at 30' o.c. Avg.
Transportation Provision	BR, TR	BR, TR

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TABLE 3-6: Thoroughfare Assemblies Continued:

KEY	
Thoroughfare Type	ST-57-20-BL
Right of Way Width	
Pavement Width	
Transportation	

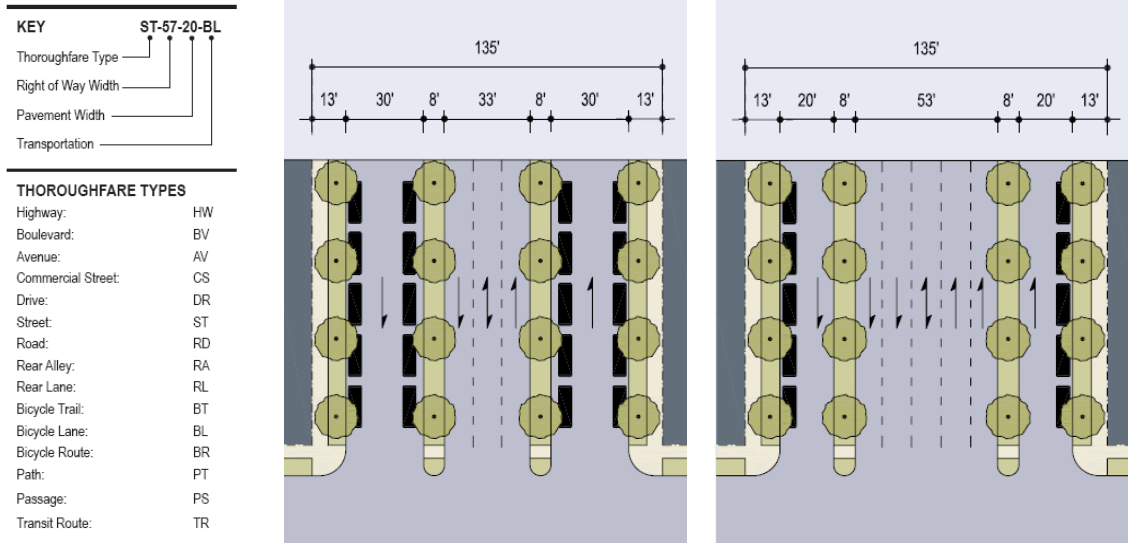
THOROUGHFARE TYPES	
Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR



	BV-115-33	BV-125-43
Functional Class	Principal Arterial/Minor Arterial	Principal Arterial/Minor Arterial
Thoroughfare Type	Boulevard	Boulevard
Transect Zone Assignment	T-5, T-6	T-5, T-6
Right-of-Way Width	115 feet	125 feet
Pavement Width	20 feet – 33 feet – 20 feet	20 feet – 43 feet- 20 feet
Movement	Free Movement (inner lanes)	Free Movement (inner lanes)
Design Speed	35 MPH	35 MPH
Pedestrian Crossing Time	5.7 seconds – 9.4 seconds – 5.7 seconds	5.6 seconds – 12.2 seconds – 5.7 seconds
Traffic Lanes	3 lanes, one turning lane & two one-way slip roads	4 lanes & two one-way slip roads
Parking Lanes	8 feet	8 feet
Curb Radius	10 feet	10 feet
Walkway Type	6 foot Sidewalk	6 foot Sidewalk
Planter Type	7 foot Continuous Planter	7 foot Continuous Planter
Curb Type	Curb	Curb
Landscape Type	Trees at 30' o.c. Avg.	Trees at 30' o.c. Avg.
Transportation Provision	Br, TR	BR, TR

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TABLE 3-6: Thoroughfare Assemblies Continued:



	BV-135-33	BV-135-53
Functional Class	Principal Arterial/Minor Arterial	Principal Arterial/Minor Arterial
Thoroughfare Type	Boulevard	Boulevard
Transect Zone Assignment	T-5, T-6	T-5, T-6
Right-of-Way Width	135 feet	135 feet
Pavement Width	30 feet – 33 feet – 30 feet	20 feet – 53 feet – 20 feet
Movement	Free Movement	Free Movement
Design Speed	35 MPH	35 MPH
Pedestrian Crossing Time	8.5 seconds – 9.4 seconds – 8.5 seconds	5.7 seconds – 15.1 seconds – 5.7 seconds
Traffic Lanes	3 lanes, one turning lane & two one-way slip roads	5 lanes, one turning lane & two one-way slip roads
Parking Lanes	8 feet	8 feet
Curb Radius	10 feet	10 feet
Walkway Type	6 foot Sidewalk	6 foot Sidewalk
Planter Type	7 foot Continuous Planter	7 foot Continuous Planter
Curb Type	Curb	Curb
Landscape Type	Trees at 30' o.c. Avg.	Trees at 30' o.c. Avg.
Transportation Provision	BR, TR	BR, TR

ARTICLE 3. NEW COMMUNITY SCALE PLANS
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3.7 CIVIC ZONES

3.7.1 General

- a. Civic Zones dedicated for public use shall be required for each Community and designated on the New Community Plan as Civic Space (CS) and Civic Building (CB).
- b. Civic Space Zones are public sites permanently dedicated to Open Space.
- c. Civic Building Zones are sites dedicated for buildings generally operated by not-for-profit organizations committed to culture, government, transit and municipal parking, or for a use approved by the City Council.
- d. A Civic Zone may be permitted by Warrant if it does not occupy more than 20% of a Pedestrian Shed; otherwise it is subject to the creation of a Special District. See Section 3.10.
- e. Parking provisions for Civic Zones shall be determined by Warrant. Civic parking lots may remain unpaved if graded, compacted and landscaped.

3.7.2 Civic Zones Specific to Natural and Rural Zones (T-1 & T-2)

- a. Civic Buildings and Civic Spaces within the (T-1) Natural Zone and (T-2) Rural Zone shall be permitted only by Variance.

3.7.3 Civic Space (CS) Specific to Sub-Urban, General Urban, Urban Center and Urban Core Zones (T-3, T-4, T-5 & T-6)

- a. Each Pedestrian Shed shall assign at least 5% of its Urbanized area to Civic Space.
- b. Civic Spaces shall be designed as generally described in Table 3-7, approved by Warrant, and distributed throughout Transect Zones as described in Table 3-7 and Table 4-11(e).
- c. Those portions of the (T-1) Natural Zone that occur within a development parcel shall be part of the Civic Space allocation and shall conform to the following Civic Space types: Park or Green. (See Table 3-7)
- d. Each Pedestrian Shed shall contain at least one Main Civic Space. The Main Civic Space shall be within 800 feet of the geographic center of each Pedestrian Shed, unless topographic conditions, pre-existing Thoroughfare alignments or other circumstances prevent such location. A Main Civic Space shall conform to one of the following types: Green, Square or Plaza. (See Table 3-7)
- e. Within 800 feet of every Lot in Residential use, a Civic Space designed and equipped as a Playground shall be provided. A Playground shall conform to Table 3-7.
- f. Each Civic Space shall have a minimum of 50% of its perimeter enfronting a Thoroughfare, except for Playgrounds.
- g. Civic Spaces may be permitted within Special Districts by Warrant.
- h. Parks may be permitted in the (T-4) General Urban Zone, (T-5) Urban Center Zone and (T-6) Urban Core Zone by Warrant.

3.7.4 Civic Buildings (CB) Specific to Sub-Urban, General Urban, Urban Center and Urban Core Zones (T-3, T-4, T-5 & T-6)

- a. The Applicant shall provide a public, multi-purpose facility in proximity to the Main Civic Space of each Pedestrian Shed. The facility shall include at least one room with a minimum of 10 square feet per projected dwelling unit within the Pedestrian Shed. Its corresponding Public Frontage shall be equipped with a shelter and bench for a transit stop. If a Pedestrian Shed is developed by joint Applicants, each Applicant shall provide the facility in proportion to the extent of his control over development within the Pedestrian Shed.


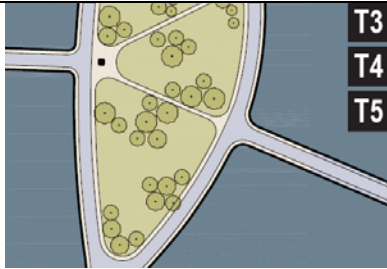
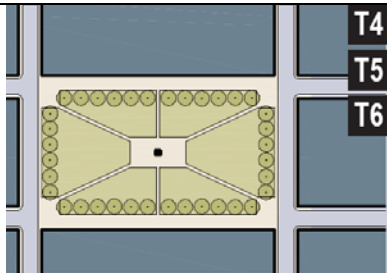
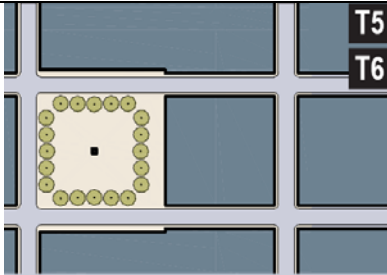
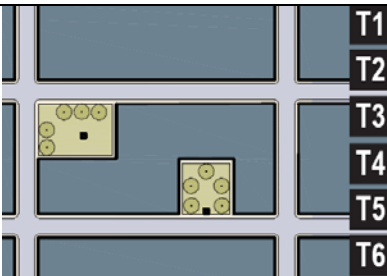
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- b. One Civic Building Lot may be required to be reserved for an elementary school. Its area shall be one (1) acre for each increment of 100 dwelling units provided by the Community Plan. The school site may be within any Transect Zone. Playing fields for elementary, middle and high schools shall be outside the Pedestrian Shed.
- c. Civic Building sites shall not occupy more than 20% of the area of each Pedestrian Shed.
- d. Civic Building sites should be located within or adjacent to a Civic Space, or at the axial termination of a significant Thoroughfare.
- e. Civic Buildings shall not be subject to the standards of Article 4. The particulars of their design shall be determined by Warrant.
- f. Civic Buildings may be permitted within Special Districts by Warrant.

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TABLE 3-7: Civic Space

The design of Civic Space shall be regulated by the Civic Space standards herein; these shall be applied to the District to create bounded space. The most urban types of Civic Spaces are perceptually enclosed by surrounding frontages, building heights and/or trees; essentially this enclosure creates an “outdoor room.” The most rural types, on the other hand, are often too large or too formless to have the characteristics of an “outdoor room.”

<p>Park Description: A natural preserve available for unstructured recreation. Standards:</p> <ol style="list-style-type: none"> 1. A park may be independent of surrounding building Frontages. 2. Its landscape shall consist of Paths and trails, meadows, waterbodies, woodland and open shelters, all naturalistically disposed. 3. Parks may be lineal, following the trajectories of natural corridors. 4. The minimum size shall be 8 acres. 5. Larger Parks may be approved by Warrant as Special Districts in all zones. 	 <p>T1 T2 T3</p>
<p>Green Description: An Open Space, available for unstructured recreation. Standards:</p> <ol style="list-style-type: none"> 1. A Green may be spatially defined by landscaping rather than building Frontages. 2. Its landscape shall consist of lawn and trees, naturalistically disposed. 3. The minimum size shall be 1/2 acre and the maximum shall be 8 acres. 	 <p>T3 T4 T5</p>
<p>Square Description: An Open Space available for unstructured recreation and Civic purposes. Standards:</p> <ol style="list-style-type: none"> 1. A Square shall be spatially defined by building Frontages. 2. Its landscape shall consist of Paths, lawns and trees, formally disposed. 3. Squares shall be located at the intersection of important Thoroughfares. 4. The minimum size shall be 1/2 acre and the maximum shall be 5 acres. 	 <p>T4 T5 T6</p>
<p>Plaza Description: An Open Space available for Civic purposes and Commercial activities. Standards:</p> <ol style="list-style-type: none"> 1. A Plaza shall be spatially defined by building Frontages. 2. Its landscape shall consist primarily of pavement. 3. Trees are optional. 4. Plazas should be located at the intersection of important streets. 5. The minimum size shall be 1/2 acre and the maximum shall be 2 acres. 	 <p>T5 T6</p>
<p>Playground Description: An Open Space designed and equipped for the recreation of children. Standards:</p> <ol style="list-style-type: none"> 1. A Playground shall be fenced and may include an open shelter. 2. Playgrounds shall be interspersed within Residential areas and may be placed within a Block. 3. Playgrounds may be included within Parks and Greens. 4. There shall be no minimum or maximum size. 	 <p>T1 T2 T3 T4 T5 T6</p>

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3.8 ***UTILITY STANDARDS***

- 3.8.1 Utilities in the District shall be placed according to the following specifications:
- a. Franchise utilities shall be placed in the same trench underground. Franchise utilities shall be placed in the alley or rear easement. If an alley or rear easement is not available, franchise utilities shall be placed under the Sidewalk. Maximum trench width shall be 24 inches. Horizontal and vertical clearances shall be as required by the franchise utility's stated guidelines.
 - b. Water lines shall be placed under the Sidewalk. If a Sidewalk is not available, water lines shall be placed underneath the median. If placed in the median, the water line shall be offset from the tree line.
 - c. Sanitary and storm sewer lines shall be placed underneath Thoroughfare pavement. Storm sewer lines may be placed in alternative, approved locations to implement Light Imprint Storm Drainage Tools. These locations shall be approved by the Director of Public Works.

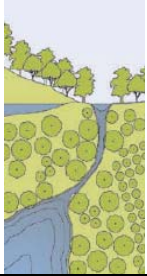
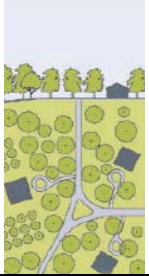

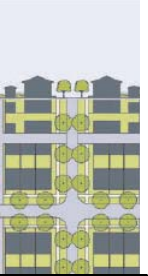
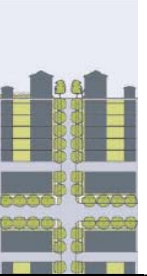
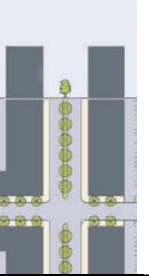
3.9 ***STORM DRAINAGE***

- 3.9.1 New Community Plans shall incorporate a minimum of eight tools listed in the Light Imprint Storm Drainage Matrix illustrated in Table 3-8.
- 3.9.2 In case of conflict, the natural environment shall have priority in the more rural zones (T-1 thru T-3) and the built environment shall have priority in the more urban zones (T-4 thru T-6).

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TABLE 3-8: Light Imprint Storm Drainage Matrix

									
		T-1	T-2	T-3	T-4	T-5	T-6	Maint.	Cost
		NATURAL ZONE	RURAL ZONE	SUB-URBAN ZONE	GENERAL URBAN ZONE	URBAN CENTER ZONE	URBAN CORE ZONE		
PAVING									
	Compacted Earth							L	\$
	Wood Planks							H	\$\$\$
	Plastic Mesh/Geomat							L	\$
	Crushed Stone/Shell							M	\$
	Cast/Pressed Concrete Paving Blocks							L	\$\$
	Grassed Cellular Plastic							M	\$\$\$
	Grassed Cellular Concrete							M	\$\$\$
	Pervious Asphalt							L	\$
	Asphalt							L	\$
	Concrete							L	\$
	Pervious Concrete							L	\$
	Stamped Asphalt							L	\$\$\$
	Stamped Concrete							L	\$\$\$
	Pea Gravel							M	\$
	Stone/Masonry Paving Blocks							L	\$\$\$
	Wood Paving Blocks on Concrete							L	\$\$\$
	Asphalt Paving Blocks							M	\$\$
CHANNELING									
	Natural Creek							L	\$
	Terracing							M	\$\$
	Vegetative Swale							L	\$
	Drainage Ditch							L	\$
	Stone/Rip Rap Channels							L	\$\$
	Vegetative/Stone Swale							L	\$
	Grassed Cellular Plastic							M	\$\$\$
	Grassed Cellular Concrete							M	\$\$\$
	Soakaway Trench							M	\$\$\$
	Slope Avenue							M	\$\$\$
	French Drain							M	\$
	Shallow Channel Footpath/Rainwater Conveyer							L	\$
	Concrete Pipe							L	\$\$
	Gutter							L	\$\$
	Planting Strip Trench							L	\$
	Masonry Trough							L	\$\$
	Canal							H	\$\$\$
	Sculpted Watercourse							M	\$\$\$
	Concrete Trough							L	\$\$
	Archimedean Screw							L	\$\$\$
STORAGE									
	Irrigation Pond							L	\$
	Retention Basin with Sloping Bank							L	\$\$
	Retention Basin with Fence							L	\$\$
	Retention Hollow							M	\$
	Detention Pond							L	\$
	Vegetative Purification Bed							M	\$\$
	Flowing Park							M	\$\$
	Retention Pond							M	\$\$
	Landscaped Tree Well							L	\$\$
	Pool/Fountain							H	\$\$\$
	Underground Vault/Pipe/Cistern-Corrugated Metal							L	\$\$
	Underground Vault/Pipe/Cistern-Precast Concrete							L	\$\$
	Underground Vault/Pipe/Cistern-Cast in Place Concrete							L	\$\$
	Grated Tree Well							L	\$\$
	Underground Vault/Pipe/Cistern-Plastic							L	\$\$\$
	Paved Basin							M	\$\$\$
FILTRATION									
	Wetland/Swamp							L	\$
	Filtration Ponds							L	\$\$
	Shallow Marsh							M	\$
	Surface Landscape							L	\$
	Natural Vegetation							L	\$
	Constructed Wetland							M	\$
	Bio-Retention Swale							M	\$\$
	Purification Biotope							H	\$\$
	Green Finger							L	\$\$\$
	Roof Garden							M	\$\$\$
	Rain Garden							M	\$\$
	Detention Pond							L	\$
	Grassed Cellular Plastic							M	\$\$\$
	Grassed Cellular Concrete							M	\$\$\$
	Waterscapes							H	\$\$\$

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3.10 SPECIAL DISTRICTS

3.10.1 Special District designations shall be assigned to areas that, by their intrinsic size, Function, or Configuration, cannot conform to the requirements of any Transect Zone or combination of zones. Conditions of development for Special Districts shall be determined by the procedure set forth in Section 1.4.5 and recorded on Table 4-12.

3.11 SPECIAL REQUIREMENTS

- 3.11.1 A New Community Plan may designate any of the following Special Requirements:
- a. A differentiation of the Thoroughfares as A-Grid and B-Grid. Buildings along the A-Grid shall be held to the highest standard of this Code in support of pedestrian activity. Buildings along the B-Grid may be more readily considered for Warrants allowing automobile-oriented standards. The Frontages assigned to the B-Grid shall not exceed 30% of the total length of Frontages within a Pedestrian Shed.
 - b. Designations for Mandatory and/or Recommended Shopfront Frontage requiring or advising that a building provide a Shopfront at Sidewalk level along the entire length of its Private Frontage. The Shopfront shall be no less than 70% glazed in transparent glass and shaded by an awning overlapping the Sidewalk as generally illustrated in Table 4-3A and specified in Table 4-3H. The first floor shall be confined to a Commercial Function through the depth of the second Layer. (Table 5-1)
 - c. Designations for Mandatory and/or Recommended Gallery Frontage, requiring or advising that a building provide a permanent cover over the Sidewalk, either cantilevered or supported by columns. The Gallery Frontage designation may be combined with a Shopfront Frontage designation.
 - d. Designations for Mandatory and/or Recommended Arcade Frontage, requiring or advising that a building overlap the Sidewalk such that the first floor Façade is a colonnade. The Arcade Frontage designation may be combined with a Shopfront Frontage designation.
 - e. A designation for Coordinated Frontage, requiring that the Public Frontage (Table 3-5A) and Private Frontage (Table 4-3A-J) be coordinated as a single, coherent landscape and paving design.
 - f. Designations for Mandatory and/or Recommended Terminated Vista locations, requiring or advising that the building be provided with architectural articulation of a type and character that responds visually to the location, as approved by the Director.
 - g. A designation for Cross Block Passages, requiring that a minimum 8-foot-wide pedestrian access be reserved between buildings.
 - h. A designation for Buildings of Value, requiring that such buildings and structures may be altered or demolished only in accordance with Historic Mesquite, Inc.

3.12 AMENDMENTS TO REGULATING PLAN

- 3.12.1 Proposed changes to a previously approved Regulating Plan may be granted in accordance with the procedures set forth in MZO §5-302. Proposed changes shall stay within the following parameters:
1. A change to a Transect Zone shall maintain the overall allocation of Transect Zones within the permitted range for each Community Type as listed in Table 3-1.
 2. A Transect Zone shall only be changed to the next lower or the next higher Transect Zone.

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3. A deviation in the location of a Thoroughfare required to be included on the Regulating Plan shall maintain the maximum Block Perimeter and Block Face as provided in Table 3-4.
- 3.12.2 An Applicant shall make a complete submittal, which shall consist of and amended Regulating Plan showing the proposed changes, in addition to such other information as the Director may require, in order to evaluate compliance with the standards described in this Article.

ARTICLE 4. BUILDING SCALE PLANS
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ARTICLE 4. BUILDING SCALE PLANS
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4.1 APPLICATION

- 4.1.1 Lots and buildings located within a New Community Plan governed by this Code shall be subject to the requirements of this Article.
- 4.1.2 Applicants may have the design plans required under this Article prepared on their behalf. Such plans require administrative approval by the Director. Applicants may, at their option, request a pre-application meeting with the Community Development Department. The pre-application meeting is not mandatory, and shall not constitute a permit under Chapter 245 of the Local Government Code.
- 4.1.3 An Applicant shall make a complete submittal, which shall consist of Building and Site Plans showing the following information, in addition to such other information as the Director may require, in order to evaluate compliance with the standards described in this Article:
- a. For preliminary site and building approval:
 - Building Disposition
 - Building Configuration
 - Building Function
 - Parking and Density Calculations
 - Parking Location Standards
 - b. For final approval, in addition to the above:
 - Special Requirements
 - Natural Drainage Standards
 - Architectural Standards
 - Landscape Standards
 - Signage Standards
 - Lighting Standards
 - Utility Standards
- 4.1.5 Special Districts that do not have provisions within this Code shall be governed by the standards of the Mesquite Zoning Ordinance.

4.2 PRE-EXISTING CONDITIONS

- 4.2.1 Existing buildings and functions that do not conform to the provisions of this Code may continue as provided in this Section. At such time as an expansion or Substantial Modification is requested, the building shall comply with the provisions of this Code. Functions shall terminate as provided in MZO §1-304.
- 4.2.2 The modification of existing buildings is permitted if such changes result in greater conformance with the specifications of this Code.
- 4.2.3 Any addition to or modification of a Building of Value that has been designated as such by Historic Mesquite, Inc. or to a building actually or potentially eligible for inclusion on a state, local or national historic register, shall be subject to approval by Historic Mesquite, Inc.
- 4.2.4 The restoration or rehabilitation of an existing building shall not require the provision of:
- a. Parking in addition to that existing, or
 - b. On-site stormwater retention/detention in addition to that existing.

ARTICLE 4. BUILDING SCALE PLANS
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- 4.2.5 Existing parking requirements that exceed those for this Code may be reduced as provided by Tables 4-4 and 4-7.

4.3 SPECIAL REQUIREMENTS

- 4.3.1 Special Requirements (Section 3.11) designated on a New Community Plan shall be mandatory according to the standards of this Article.

4.4 CIVIC ZONES

4.4.1 General

- a. Civic Zones are designated on Community Plans as Civic Space (CS) or Civic Building (CB).
- b. Parking provisions for Civic Zones shall be determined by Warrant.

4.4.2 Civic Space Zones (CS)

- a. Civic Spaces shall be generally designed as described in Table 3-7.

4.4.3 Civic Building Zones (CB)

- a. Civic Buildings shall not be subject to the requirements of this Article. The particulars of their design shall be determined by Warrant.

4.5 SPECIFIC TO NATURAL ZONE (T-1)

- 4.5.1 Buildings in the (T-1) Natural Zone are permitted only by the procedure set forth in Section 1.4.5. Permission to build in the (T-1) Natural Zone and the standards for Article 4 shall be determined concurrently, in public hearing of the City Council.

4.6 BUILDING DISPOSITION

4.6.1 Specific to Rural Zone (T-2)

- a. Building Disposition shall be determined by Warrant.

4.6.2 Specific to Sub-Urban, General Urban, Urban Center and Urban Core Zones (T-3, T-4, T-5 & T-6)

- a. Newly platted Lots shall be dimensioned according to Table 4-6A-D and Table 4-11(f).
- b. Building Disposition types shall be limited to the types described in Table 4-1.
- c. Buildings shall be disposed in relation to the boundaries of their Lots according to Table 4-6A-D and Table 4-11(g).
- d. One Principal Building at the Frontage and one Outbuilding to the rear may be built on each Lot as shown in Table 5-1. A Backbuilding may be built between the Principal Building and the Outbuilding on the side frontage of corner lots as shown in Table 5-1.
- e. Lot coverage by building shall not exceed that recorded in Table 4-6A-D and Table 4-11(f).
- f. Façades shall be built parallel to a rectilinear Principal Frontage line or to the tangent of a curved Principal Frontage line, and along a minimum percentage of the Frontage length at the Setback, as specified on Table 4-6A-D and Table 4-11(g).
- g. Setbacks for Principal Buildings shall be as shown in Table 4-6A-D and Table 4-11(g). Setbacks may otherwise be adjusted by Warrant.

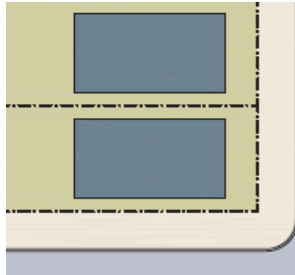


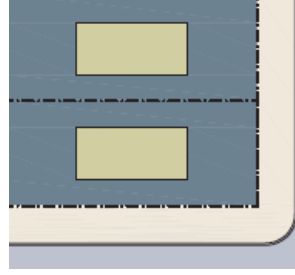
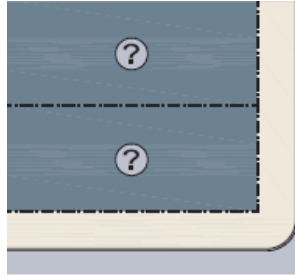
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- h. Rear Setbacks for Outbuildings shall be a minimum of 15 feet measured from the centerline of the Rear Alley easement. In the absence of Rear Alley, the rear Setback shall be as shown in Table 4-6A-D and Table 4-11(h).
 - i. To accommodate buildings on slopes over ten percent, relief from front Setback requirements shall be available by Warrant.
- 4.6.3 **Specific to Urban Core Zone (T-6)**
- a. The Principal Entrance shall be on a Frontage Line.

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TABLE 4-1: Building Disposition:

This table approximates the location of the structure relative to the boundaries of each individual Lot, establishing suitable basic building types for each Transect Zone. Each of these very general types is intrinsically more or less urban, depending on the extent that it completes the frontage. Specialized Buildings eligible for Warrants from these typologies may include hospitals, factories, airports, refineries, schools, colleges, and stadiums, as well as civic buildings.

<p>Basic Building Type: Edgeyard Description: A building that occupies the center of its Lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the Frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed Backbuilding and/or Outbuilding. Specific Edgeyard types: Single Family House, Cottage, Villa, Estate House & Duplex/Triplex/Quadplex</p>	 <div style="float: right; text-align: center;"> <div style="background-color: black; color: white; padding: 2px;">T2</div> <div style="background-color: black; color: white; padding: 2px;">T3</div> <div style="background-color: black; color: white; padding: 2px;">T4</div> </div>
<p>Basic Building Type: Sideyard Description: A building that occupies one side of the Lot with the Setback to the other side. A shallow Frontage Setback defines a more urban condition. If the adjacent building is similar with a blank party wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or breeze. If a Sideyard House abuts a neighboring Sideyard House, the type is known as a twin or double House. Energy costs, and sometimes noise, are reduced by sharing a party wall in this Disposition. Specific Sideyard Types: Charleston Side House, Double House, Zero-Lot-Line House, Multi-generation House & Twin</p>	 <div style="float: right; text-align: center;"> <div style="background-color: black; color: white; padding: 2px;">T4</div> <div style="background-color: black; color: white; padding: 2px;">T5</div> </div>
<p>Basic Building Type: Rearyard Description: A building that occupies the full Frontage, leaving the rear of the lot as the sole yard. This is a very urban type as the continuous Façade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. In its Residential form, this type is a Rowhouse. For its Commercial form, the rear yard can accommodate substantial parking. Specific Rearyard Types: Townhouse, Rowhouse, Live-Work Unit, Loft Building, Apartment House, Stacked Dwelling & Mixed Use Block</p>	 <div style="float: right; text-align: center;"> <div style="background-color: black; color: white; padding: 2px;">T4</div> <div style="background-color: black; color: white; padding: 2px;">T5</div> <div style="background-color: black; color: white; padding: 2px;">T6</div> </div>
<p>Basic Building Type: Courtyard Description: A building that occupies the boundaries of its Lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, Lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas. Specific Courtyard Types: Patio House & Bungalow Court</p>	 <div style="float: right; text-align: center;"> <div style="background-color: black; color: white; padding: 2px;">T5</div> <div style="background-color: black; color: white; padding: 2px;">T6</div> </div>
<p>Basic Building Type: Specialized Description: A building that is not subject to categorization. Buildings dedicated to manufacturing and transportation are often distorted by the trajectories of machinery. Civic buildings, which may express the aspirations of institutions, may be included.</p>	 <div style="float: right; text-align: center;"> <div style="background-color: black; color: white; padding: 2px;">SD</div> </div>

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4.7 BUILDING CONFIGURATION

4.7.1 General to Rural, Sub-Urban, General Urban, Urban Center and Urban Core Zones (T-2, T-3, T-4, T-5 & T-6)

- a. The Private Frontage of buildings shall conform to and be allocated in accordance with Table 4-3A-J and Table 4-6A-D and Table 4-11(i).
- b. Buildings on corner Lots shall have two Private Frontages as shown in Table 5-1. Prescriptions for the second and third Layers pertain only to the Principal Frontage. Prescriptions for the first Layer pertain to both Frontages.
- c. Building Heights, Stepbacks, Expression Lines, and Extension Lines shall conform to Table 4-2 and Table 4-6A-D and Table 4-11(j).
- d. Stories shall be a minimum of 11 feet in height from finished floor to finished ceiling. Stories shall not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial Function, which may be a maximum of 26 feet in height. A single floor level with a minimum height of 26 feet and a maximum height of 29 feet from ground level to the uppermost roof deck or uppermost eave shall be counted as two (2) stories. Furthermore, ground level transparency shall be calculated within the first 15 feet of the exterior building wall, measured from street level; upper level transparency shall be calculated within the following 11 feet, not to exceed 14 feet. Mezzanines extending beyond 33% of the floor area shall be counted as an additional floor. Attics and raised basements are not considered Stories.
- e. In a Parking Structure or garage, each level counts as a single Story regardless of its relationship to habitable Stories.
- f. Height limits do not apply to Attics or raised basements, masts, belfries, clock towers, chimney flues, water tanks, or elevator bulkheads.

4.7.2 Specific to Rural, Sub-Urban, General Urban and Urban Center Zones (T-2, T-3, T-4 & T-5)

- a. The minimum room areas of a dwelling within a Principal Building or Accessory Unit within an Outbuilding shall conform to the International Residential Code, but in no case shall the total living area be less than 450 sq. ft. Outbuildings may be any size, but shall not exceed 500 sq. ft.

4.7.3 Specific to Sub-Urban Zone (T-3)

- a. No portion of the Private Frontage may Encroach the Sidewalk.
- b. Open porches may Encroach the first Layer 50% of its depth. (Table 5-1)
- c. Balconies and bay windows may Encroach the First Layer 25% of its depth.

4.7.4 Specific to General Urban Zone (T-4)

- a. Balconies, open Porches and bay windows may Encroach the first Layer 50% of its depth. (Table 5-1)

4.7.5 Specific to Urban Center and Urban Core Zones (T-5 & T-6)

- a. Awnings, Arcades, and Galleries may Encroach the Sidewalk to within two feet of the Curb but must clear the Sidewalk vertically by at least 8 feet.
- b. Maximum Encroachment heights (Extension Lines) for Arcades shall be as shown on Table 4-2.
- c. Stoops, Lightcourts, balconies, bay windows, and terraces may Encroach the first Layer 100% of its depth. (Table 5-1)
- d. Loading docks and service areas shall be permitted on Frontages only by Warrant.
- e. In the absence of a building Façade along any part of a Frontage Line, a Street Screen shall be built co-planar with the Façade.

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- i. Street Screens shall be between 3.5 and 8 feet in height and constructed of a material matching the adjacent building Façade.
 - ii. Street Screens may be a hedge or fence by Warrant.
 - iii. Street Screens shall have openings no larger than is necessary to allow automobile and pedestrian access.
 - iv. All Street Screens over 4 feet high shall be 30% permeable or articulated to avoid blank walls.
- f. A first level Residential or Lodging Function shall be raised a minimum of 2 feet from average Sidewalk grade.

4.7.6 Specific to Urban Core Zone (T-6)

- a. The minimum room areas of a dwelling within a Principal Building shall conform to the International Residential Code, but in no case shall the total living area be less than 450 sq. ft.

TABLE 4-2: Building Height

The Configurations for different building heights in the District are regulated for each Transect Zone herein. The Building Height is expressed in numbers of Stories. Building Height is regulated for the creation of spatial enclosure. The ratio of Thoroughfare width to Building Height is important for creating the sense of an “outdoor room.” Expression Lines shall occur on higher buildings as shown.

Building Height Standards:

1. Height shall be measured from the average Enfronting Sidewalk grade to the uppermost eave of a main pitched roof (not of a dormer), or to the uppermost roof deck (not the top of parapet) of a flat roof.
2. Building Height shall be measured in number of Stories, excluding Attics and raised basements. Height limits do not apply to masts, belfries, clock towers, chimney flues, water tanks, elevator bulkheads and similar structures.

N= maximum height as specified in Appendix 1.



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Stepbacks/Arcade Heights

The diagram below shows an Arcade Frontage in the Urban Core Zone (T-6). The Diagrams above apply to all other Frontages.



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TABLE 4-3A: Private Frontages:

The character and arrangement of the Private Frontage is regulated by the Private Frontage Type Standards herein, these shall be applied to each Transect Zone within the District to create a particular and appropriate transitional relationship between the private and public realm. This relationship is what collectively defines the nature of the streetscape. Private Frontage Types are required for all buildings within the District as shown in Tables 4-3A-J.

	SECTION		PLAN		
	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	
<p>Common Yard: a planted Frontage wherein the Façade is set back substantially from the Frontage Line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep setback provides a buffer from the higher speed Thoroughfares.</p>					T2 T3
<p>Porch & Fence: a planted Frontage wherein the Façade is set back from the Frontage Line with an attached porch permitted to Encroach. A fence at the Frontage Line maintains street spatial definition.</p>					T3 T4
<p>Dooryard: a Frontage wherein the Façade is set back from the Frontage Line with an elevated garden or Terrace permitted to Encroach. This type can effectively buffer Residential quarters from the Sidewalk, while removing the private yard from public Encroachment. The Terrace is suitable for conversion to outdoor cafes as the eye of the sitter is level with that of the standing passerby.</p>					T4 T5
<p>Lightcourt: a Frontage wherein the Façade is set back from the Frontage Line by a sunken Lightcourt. This type buffers Residential use from urban Sidewalks and removes the private yard from public Encroachment. The Lightcourt is suitable for conversion to outdoor cafes.</p>					T4 T5
<p>Stoop: a Frontage wherein the Façade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor Residential use.</p>					T4 T5 T6
<p>Forecourt: a Frontage wherein a portion of the Façade is close to the Frontage Line and the central portion is set back. The Forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other frontage types. Large trees within the Forecourts may overhang the sidewalks.</p>					T4 T5 T6
<p>Shopfront: a Frontage wherein the Façade is aligned close to the Frontage Line with the building entrance at Sidewalk grade. This type is conventional for Retail use. It has a substantial glazing on the Sidewalk level and an awning that may overlap the Sidewalk to the maximum extent possible.</p>					T4 T5 T6

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Gallery: a Frontage wherein the Façade is aligned close to the Frontage line with an attached cantilevered shed or a lightweight colonnade overlapping the Sidewalk. This type is conventional for Retail use.

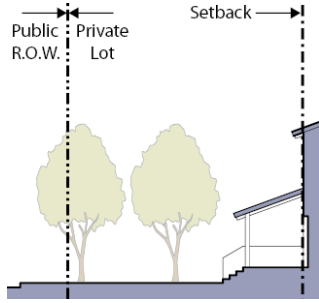
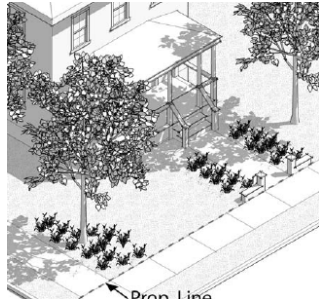


Arcade: a colonnade supporting habitable space that overlaps the Sidewalk, while the Façade at Sidewalk level remains at or behind the Frontage Line. This type is conventional for Retail use. See Table 8.



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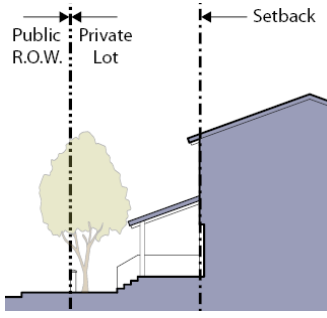
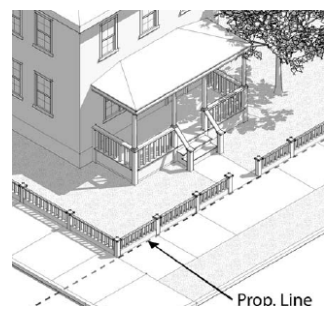
TABLE 4-3B: Common Yard

<p>Description:</p> <p>A Frontage wherein the Façade is set back substantially from the Frontage Line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep Setback provides a buffer from the higher speed Thoroughfares.</p>	 <p style="text-align: center;"><i>Section Diagram</i></p>
	 <p style="text-align: center;"><i>Axonometric Diagram</i></p>
<p>Architectural Standards:</p> <ol style="list-style-type: none"> 1. In addition to the general standards shown in Section 4.12, specific standards shall be as follows: 2. The exterior Façade Materials shall be limited to brick, stone, and/or cementitious fiber clapboard. 3. Brick and stone shall be left in their natural state to weather over time. 4. Buildings shall have sloped roofs. 5. Elements within each segment of a building façade, defined by a different roof height, shall be required to be symmetrical. A symmetrical condition is achieved when façade elements and openings are repeated in the same positions on either side of a central vertical line for that segment of the façade. 6. Doors and windows shall be divided to be either square or vertical in proportion so that each section is taller than it is wide. 7. All masonry elements designed to be load-bearing shall be visually supported by other masonry elements directly below. 8. No more than two accent colors shall be used on any exterior wall. 9. Non-residential functions shall comply with Sections 10.4-10.7 of the Community Appearance Manual v. 1.0 	

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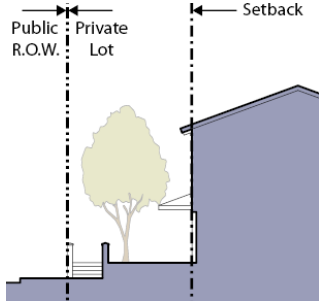
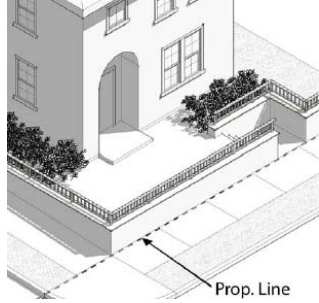
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TABLE 4-3C: Porch & Fence

<p>Description:</p> <p>Fences are common Frontages associated with Single Family Houses, where the Façade is set back from the right-of-way with a front yard. A Fence at the Frontage Line may be used to define the private space of the yard. This Fence also maintains street spatial definition along the Frontage Line. An Encroaching Porch may also be appended to the Façade.</p>	
<p>Design Standards:</p> <ol style="list-style-type: none"> 1. Porch Encroachment into the Setback: 8 feet maximum. 2. Porches shall be a minimum of 8 feet deep, a minimum of 12 feet wide and a minimum of 9 feet tall. 3. Porches shall be raised a minimum of 18 inches and a maximum of 3 feet from the adjacent finished grade, and located at the First Story. 4. For Fencing Standards refer to Section 4.12.1(i). 	
<p>Architectural Standards:</p> <ol style="list-style-type: none"> 1. In addition to the general standards shown in Section 4.12, specific standards shall be as follows: 2. The exterior Façade Materials shall be limited to brick, stone, and/or cementitious fiber clapboard. 3. Brick and stone shall be left in their natural state to weather over time. 4. Buildings shall have sloped roofs. 5. Elements within each segment of a building façade, defined by a different roof height, shall be required to be symmetrical. A symmetrical condition is achieved when façade elements and openings are repeated in the same positions on either side of a central vertical line for that segment of the façade. 6. Doors and windows shall be divided to be either square or vertical in proportion so that each section is taller than it is wide. 7. All masonry elements designed to be load-bearing shall be visually supported by other masonry elements directly below. 8. No more than two accent colors shall be used on any exterior wall. 9. Non-residential functions shall comply with Sections 10.4-10.7 of the Community Appearance Manual v. 1.0 	

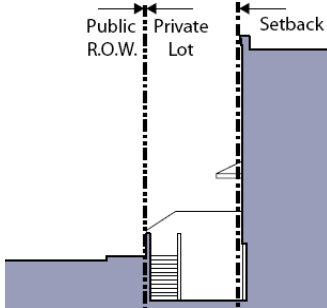
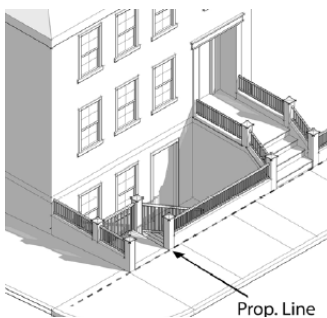
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TABLE 4-3D: Dooryard

<p>Description:</p> <p>Dooryards are elevated gardens or terraces that are set back from the frontage line. This type can effectively buffer residential quarters from the sidewalk, while removing the private yard from public encroachment. The Terrace is also suitable for restaurants and cafes as the eye of the sitter is level with that of the standing passerby.</p>	 <p style="text-align: center;"><i>Section Diagram</i></p>
<p>Design Standards:</p> <ol style="list-style-type: none">1. Dooryards/Terraces shall be a minimum of 10 feet deep, and raised at least 12 inches above, but no more than 5 feet above, the finished grade.2. A retaining wall may be built around the Dooryard or Terrace.3. The retaining wall shall not be higher than structurally necessary.4. The retaining wall shall be constructed of brick or stone, alone or in combination.	 <p style="text-align: center;"><i>Axonometric Diagram</i></p>
<p>Architectural Standards:</p> <ol style="list-style-type: none">1. In addition to the general standards shown in Section 4.12, specific standards shall be as follows:2. Compliance with the Community Appearance Manual v. 1.0, regardless of Building Function.3. Buildings shall have sloped roofs	

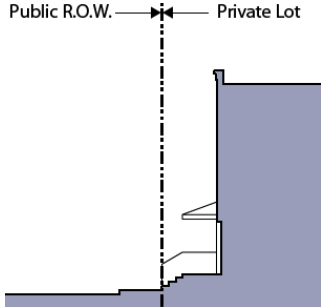
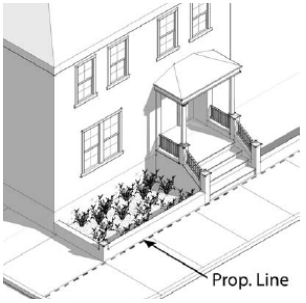
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TABLE 4-3E: Lightcourt

<p>Description:</p> <p>Lightcourts are frontages wherein the Façade is set back from the frontage line by a sunken Lightcourt. This type buffers residential use from urban sidewalks and removes the private yard from public encroachment. The Lightcourt is suitable for conversion to outdoor cafes.</p>	 <p style="text-align: center;"><i>Section Diagram</i></p>
<p>Design Standards:</p> <ol style="list-style-type: none">1. Basements accessed by a Lightcourt shall be depressed at least 5 feet below, but not more than 7 feet below, the adjacent sidewalk.2. Ground floors accessed by a Lightcourt shall be raised at least 12 inches above, but no more than 5 feet above, the adjacent sidewalk.3. Lightcourts shall correspond directly with the building entry(s) and the stairs may be perpendicular to or parallel with the adjacent Sidewalk.4. Lightcourts shall be at least 10 feet wide, clear of the stair to the raised ground floor.	 <p style="text-align: center;"><i>Axonometric Diagram</i></p>
<p>Architectural Standards:</p> <ol style="list-style-type: none">1. In addition to the general standards shown in Section 4.12, specific standards shall be as follows:2. Compliance with the Community Appearance Manual v. 1.0, regardless of Building Function.3. Buildings shall have flat roofs enclosed by parapets.	

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TABLE 4-3F: Stoop

<p>Description:</p> <p>Stoops are elevated entry porches/stairs placed close to the Frontage Line with the ground Story elevated from the sidewalk, securing privacy for the windows and front rooms. The Stoop is suitable for ground floor Residential use at short setbacks. A shed roof may also cover the Stoop. This type may be interspersed with the Shopfront & Awning Frontage Type.</p>	 <p>A cross-sectional diagram showing a building facade with a stoop. A vertical dashed line separates the 'Public R.O.W.' (Right-of-Way) on the left from the 'Private Lot' on the right. The stoop is an elevated platform with a small roof, extending from the private lot into the public right-of-way.</p> <p style="text-align: center;"><i>Section Diagram</i></p>
<p>Design Standards:</p> <ol style="list-style-type: none">1. Stoop Encroachment into the Setback: 8 feet maximum.2. Stoops shall be raised a minimum of 18 inches and a maximum of 36 inches from the finished grade.3. Stoops shall correspond directly with the building entry(s) and be at least 3 feet wide (perpendicular to or parallel with the Sidewalk).4. Stoops shall be a minimum of 6 feet and a maximum of 10 feet wide.5. There may be a low (30 inches or less) decorative Fence along the property lines.	 <p>An axonometric view of a building with a stoop. The stoop is a small, elevated structure with a roof and steps leading to the building entrance. A dashed line labeled 'Prop. Line' (Property Line) is shown on the sidewalk, indicating the boundary between the public right-of-way and the private lot.</p> <p style="text-align: center;"><i>Axonometric Diagram</i></p>
<p>Architectural Standards:</p> <ol style="list-style-type: none">1. In addition to the general standards shown in Section 4.12, specific standards shall be as follows:2. Compliance with the Community Appearance Manual v. 1.0, regardless of Building Function.3. Buildings shall have flat roofs enclosed by parapets.	

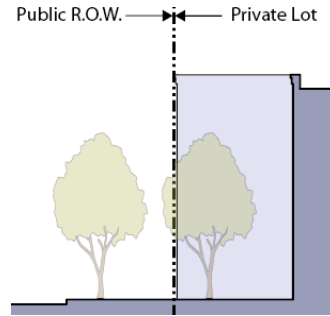
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TABLE 4-3G: Forecourt

Description:

Forecourts are uncovered courts within a storefront frontage, wherein a portion of the Façade is recessed from the building Frontage. The court is suitable for outdoor dining, gardens, vehicular drop-offs, and utility off loading. A Fence or wall at the property line may be used to define the private space of the court. The court may also be raised from the Sidewalk, creating a small retaining wall at the property line with entry steps in the court. This type should be used sparingly and in conjunction with Stoops and Shopfronts.

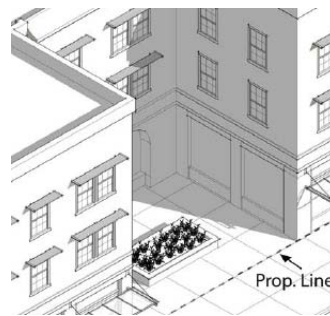
Section Diagram



Design Standards:

1. A Forecourt shall be a minimum of 10 feet deep and a maximum of 30 feet deep.
2. A Forecourt shall be a minimum of 10 feet wide and a maximum of 50 feet wide, or 50 percent of the lot width, whichever is less.
3. Forecourts between 10 feet and 15 feet in depth shall be substantially paved, and enhanced with landscaping. Forecourts between 15 feet and 30 feet in depth shall be designed with a balance of paving and landscaping.
4. A fence or wall at the property line may be used to define the private space of the court.
5. If the Forecourt is raised above the adjacent grade, it should not be more than 3 feet above the grade of the sidewalk.
6. Forecourts shall not occupy over 10% of the Block Face.

Axometric Diagram



Architectural Standards:

1. In addition to the general standards shown in Section 4.12, specific standards shall be as follows:
2. Compliance with the Community Appearance Manual v. 1.0, regardless of Building Function.
3. Buildings shall have flat roofs enclosed by parapets.

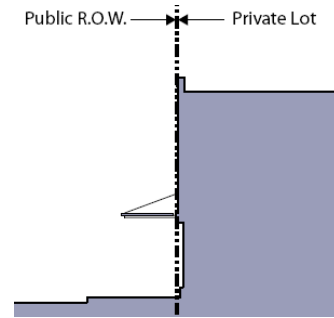
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TABLE 4-3H: Shopfront & Awning

Description:

Typically, the Shopfront & Awning Frontage Type applies to storefronts. Storefronts are Façades placed at or close to the right-of-way line, with the entrance at Sidewalk grade. They are conventional for Retail Frontage and are commonly equipped with cantilevered shed roof(s) or awnings(s). Recessed storefronts are also acceptable. The absence of a raised ground floor precludes a Residential Function on the ground floor facing the street. A Residential Function would be appropriate above the ground floor and behind another Function that fronts the street.

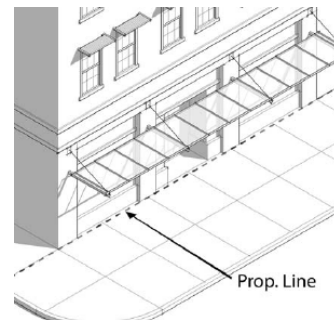
Section Diagram



Design Standards:

1. Storefronts shall be 15 feet tall, as measured from the adjacent Sidewalk, and 10 a minimum of 10 feet wide.
2. Storefront assemblies (the doors, display windows, bulkheads and associated framing) should not be set back into the Shopfront openings more than a maximum of 2 feet, so that passing pedestrians have a clear view of the shop interior.
3. Storefronts may be set back up to 12 feet, but not less than 8 feet, for up to 25 feet of the building Frontage in order to create a covered Alcove, in which outdoor dining or merchandising can occur within the volume of the building.
4. Display windows: the corresponding storefront(s) opening(s) along the primary frontage shall be at least 70% of the first floor wall area, and shall be transparent. Where privacy is desired for restaurants and professional services, etc., windows should be divided into smaller panes.
5. Awnings, signs, and related fixtures shall be located a minimum of 8 feet above the adjacent sidewalk.
6. Awnings shall only cover Storefronts and openings, so as not to cover the entire Façade.
7. Doors should be substantial and well detailed. They are the one part of the storefront that patrons will invariably touch and feel. They should match the materials, design and character of the display window framing. "Narrowline" aluminum framed doors are not recommended.

Axometric Diagram



Architectural Standards:

1. In addition to the general standards shown in Section 4.12, specific standards shall be as follows:
2. Compliance with the Community Appearance Manual v. 1.0, regardless of Building Function.
3. Buildings shall have flat roofs enclosed by parapets.

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TABLE 4-3I: Gallery

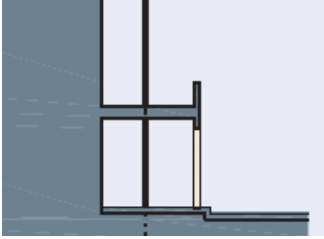
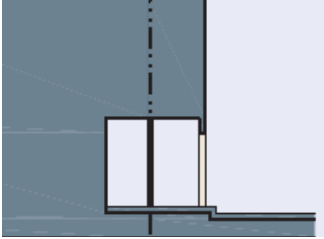
<p>Description:</p> <p>Galleries are Façades with an attached colonnade.</p>	 <p><i>Section Diagram</i></p>
<p>Design Standards:</p> <ol style="list-style-type: none">1. Galleries shall be a minimum of 10 feet wide clear in all directions, with a maximum of 2 feet between curb face and Gallery eve.2. Along Primary Frontages, the Gallery shall correspond to storefront openings.3. Primary Frontage storefront openings shall be at least 70% of first floor wall area and have transparent glazing.	
<p>Architectural Standards:</p> <ol style="list-style-type: none">1. In addition to the general standards shown in Section 4.12, specific standards shall be as follows:2. Compliance with the Community Appearance Manual v. 1.0, regardless of Building Function.3. Buildings shall have flat roofs enclosed by parapets.4. Galleries shall be constructed using only the same exterior materials as the Principal Building.	

TABLE 4-3J: Arcade

<p>Description:</p> <p>Arcades are Façades with an attached colonnade, which is covered by upper Stories.</p>	 <p><i>Section Diagram</i></p>
<p>Design Standards:</p> <ol style="list-style-type: none">1. Arcades shall be a minimum of 12 feet wide clear in all directions, with a maximum of 2 feet between curb face and Arcade eve.2. Along Primary Frontages, the Arcade shall correspond to storefront openings.3. Primary Frontage storefront openings shall be at least 70% of first floor wall area and have transparent glazing.	
<p>Architectural Standards:</p> <ol style="list-style-type: none">1. In addition to the general standards shown in Section 4.12, specific standards shall be as follows:2. Compliance with the Community Appearance Manual v. 1.0, regardless of Building Function.3. Buildings shall have flat roofs enclosed by parapets.4. Arcades shall be constructed using only the same exterior materials as the Principal Building.	

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4.8 BUILDING FUNCTION

- 4.8.1 **General to Rural, Sub-Urban, General Urban, Urban Center and Urban Core Zones (T-2, T-3, T-4, T-5 & T-6)**
- a. Buildings in each Transect Zone shall conform to the Functions on Table 4-4 and Table 4-5 and Table 4-11(k).
 - b. A public hearing and approval by the City Council in accordance with MZO §5-302 shall be required for a Function permitted by Conditional Use Permit (CUP).
 - c. Outdoor display or storage is prohibited, provided that incidental outdoor display is permitted pursuant to MZO §3-601.
- 4.8.2 **Specific to (T-2) Rural Zone and (T-3) Sub-Urban Zone**
- a. Accessory Functions shall be permitted within an Outbuilding.
- 4.8.3 **Specific to (T-4) General Urban Zone and (T-5) Urban Core Zone**
- a. Accessory Functions shall be permitted within an Outbuilding.
- 4.8.4 **Specific to (T-5) Urban Center Zone and (T-6) Urban Core Zone**
- a. First Story Commercial Functions shall be permitted.
 - b. Manufacturing Functions within the first Story may be permitted by Conditional Use Permit (CUP).

ARTICLE 4. BUILDING SCALE PLANS
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TABLE 4-4: Building Function – General:

This table categorizes Building Functions for each Transect Zone within the District. Parking requirements are correlated to functional intensity. For Specific Function and Use permitted By Right or by CUP, see Table 4-5.

	T-2 & T-3	T-4	T-5 & T-6
a. RESIDENTIAL	Restricted Residential: The number of dwellings on each Lot is restricted to one within the Principal Building and one within an Outbuilding, with 2.0 parking places for each dwelling. Both dwellings shall be under single ownership. The habitable area of the Accessory Unit shall not exceed 500 square feet, excluding the parking area.	Limited Residential: The number of dwellings on each Lot is limited by the requirement of 1.5 parking places for each dwelling, a ratio which may be reduced according to the shared parking standards (See Table 4-7).	Open Residential: The number of dwellings on each Lot is limited by the requirement of 1.0 parking places for each dwelling, a ratio which may be reduced according to the shared parking standards (See Table 4-7).
b. LODGING	Restricted Lodging: The number of bedrooms available on each Lot for lodging is limited by the requirement of 1.0 assigned parking place for each bedroom, up to five, in addition to the parking requirement for the dwelling. The Lodging must be owner occupied. Food service may be provided in the a.m. The maximum length of stay shall not exceed ten days.	Limited Lodging: The number of bedroom available on each Lot for lodging is limited by the requirement of 1.0 assigned parking place for each bedroom, up to twelve, in addition to the parking requirement for the dwelling. The Lodging must be owner occupied. Food service may be provided in the a.m. The maximum length of stay shall not exceed ten days.	Open Lodging: The number of bedrooms available on each Lot for lodging is limited by the requirement of 1.0 assigned parking place for each bedroom. Food service may be provided at all times. The area allocated for food service shall be calculated and provided with parking according to Retail Function.
c. OFFICE	Restricted Office: The building area available for Office use on each Lot is restricted to the first Story of the Principal Building, and by the requirement of 3.0 assigned parking places per 1000 square feet of net Office space in addition to the parking requirement for each dwelling.	Limited Office: The building area available for Office use on each Lot is limited to the first Story of the Principal Building, and by the requirement of 3.0 assigned parking places per 1000 square feet of net Office space in addition to the parking requirement for each dwelling.	Open Office: The building area available for Office use on each Lot is limited by the requirement of 2.0 assigned parking places per 1000 square feet of net Office space.
d. RETAIL	Restricted Retail: The building area available for Retail use is restricted to one Block corner location at the first Story for each 300 dwelling units and by the requirement of 4.0 assigned parking places per 1000 square feet of net Retail space in addition to the parking requirement for each dwelling. The specific use shall be further limited to neighborhood store, or food service seating no more than 20 people.	Limited Retail: The building area available for Retail use is limited to the first Story of buildings at corner locations, not more than one per Block, and by the requirement of 4.0 assigned parking places per 1000 square feet of net Retail space in addition to the parking requirement of each dwelling. The specific use shall be further limited to neighborhood store, or food service seating no more than 40 people.	Open Retail: The building area available for Retail use is limited by the requirement of 3.0 assigned parking places per 1000 square feet of net Retail space. Retail spaces less than 1500 square feet are exempt form parking requirements.
e. CIVIC	See Table 4-5	See Table 4-5	See Table 4-5
f. OTHER	See Table 4-5	See Table 4-5	See Table 4-5

ARTICLE 4. BUILDING SCALE PLANS

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TABLE 4-5: Specific Function:

This table expands the Building Function categories of Table 4-4 to delegate specific Functions for each Transect Zone within the District.

a. RESIDENTIAL	T-1	T-2	T-3	T-4	T-5	T-6
Mixed Use Block					R	R
Flex Building				R	R	R
Apartment Building				R	R	R
Live/Work Unit			C	R	R	R
Row House				R	R	
Duplex House				R	R	
Courtyard House				R	R	
Sideyard House			R	R	R	
Cottage			R	R		
House		R	R	R		
Villa		R				
Accessory Unit		R	R	R	R	

b. LODGING	T-1	T-2	T-3	T-4	T-5	T-6
Hotel (no room limit)					R	R
Inn (up to 12 rooms)		C		R	R	R
Bed & Breakfast (up to 5 rooms)		C	R	R	R	R
School Dormitory				R	R	R

c. OFFICE	T-1	T-2	T-3	T-4	T-5	T-6
Office			R	R	R	R
Live/Work Unit			C	R	R	R
Religious Assembly		R	R	R	R	R

d. RETAIL	T-1	T-2	T-3	T-4	T-5	T-6
Open-Market Building		R	R	R	R	R
Retail Building, e.g. grocery store, personal services				R	R	R
Display Gallery				R	R	R
Restaurant				R	R	R
Kiosk				R	R	R
Push Cart					C	C
Drive-Through Facility						
Drive-In Facility						
Sexually Oriented Business						
Alt. Financial Establishments						
Strip Shopping Center						
Shopping Mall						
Used Merchandise			C	C	C	C

e. CIVIC	T-1	T-2	T-3	T-4	T-5	T-6
Bus Shelter			R	R	R	R
Transit Stop			R	R	R	R
Convention Center						C
Conference Center					C	R
Exhibition Center						C
Fountain or Public Art		R	R	R	R	R
Library				R	R	R
Live Theater					R	R
Museum					C	R
Outdoor Auditorium		C	R		R	R
Parking Structure					R	R
Passenger Terminal					C	C
Playground		R	R	R	R	R
Sports Stadium						C
Surface Parking Lot				C	C	C

f. AGRICULTURE	T-1	T-2	T-3	T-4	T-5	T-6
Grain Storage	R	R				
Livestock Pen	C	C				
Greenhouse	R	R	C			
Stable	R	R	C			
Kennel	R	R	C			

g. AUTOMOTIVE	T-1	T-2	T-3	T-4	T-5	T-6
Gasoline		C			C	C
Automobile Service						
Truck Maintenance						
Rest Stop	R	R				
Roadside Stand	R	R				
Billboard						

h. CIVIL SUPPORT	T-1	T-2	T-3	T-4	T-5	T-6
Fire Station			R	R	R	R
Police Station			R	R	R	R
Cemetery		R	C	C		
Funeral Home				R	R	R
Hospital					C	C
Medical Clinic				C	R	R

i. EDUCATION	T-1	T-2	T-3	T-4	T-5	T-6
College					C	C
High School				R	R	R
Trade School					C	C
Elementary School			R	R	R	R
Administrative Facilities and Bus Yards						
Childcare Center		R	R	R	R	R

j. ENTERTAINMENT	T-1	T-2	T-3	T-4	T-5	T-6
Movie Theater					R	R


k. INDUSTRIAL	T-1	T-2	T-3	T-4	T-5	T-6
Heavy Industrial Facility						
Light Industrial Facility						C
Truck Depot						
Laboratory Facility						C
Water Supply Facility						
Sewer and Waste Water Facility						
Electric Substation	C	C	C	C	C	C
Wireless Transmitter	C	C				
Cremation Facility						
Warehouse						
Produce Storage						
Mini-Storage						
Manufacturing					C	C

R = BY RIGHT
C = BY CONDITIONAL USE PERMIT (CUP)

ARTICLE 4. BUILDING SCALE PLANS

INTERIM K20 DEVELOPMENT CODE: *City of Mesquite*

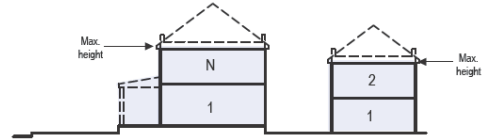
TABLE 4-6A: Building Scale Plans: Sub-Urban Zone (T-3) Graphics

 <p style="text-align: center;">(see Table 3-2)</p>	
I. BUILDING FUNCTION (see Table 4-4 & Table 4-5)	
Residential	restricted use
Lodging	restricted use
Office	restricted use
Retail	restricted use
k. BUILDING CONFIGURATION (see Table 4-2)	
Principal Building	2 stories max.
Outbuilding	2 stories max.
f. LOT OCCUPATION	
Lot Width	72 ft. min., 120 ft. max.
Lot Coverage	60% max.
i. BUILDING DISPOSITION (see Table 4-1)	
Edgeyard	permitted
Sidyard	not permitted
Rearyard	not permitted
Courtyard	not permitted
g. SETBACKS – PRINCIPAL BUILDING	
Front Setback Primary (P)	24 ft. min.
Front Setback Secondary (S)	12 ft. min.
Side Setback	12 ft. min.
Rear Setback	12 ft. min.
Frontage Buildout	40% min. at Setback
h. SETBACKS – OUTBUILDING	
Front Setback	20 ft. min. & bldg Setback
Side Setback	3 ft. or 6 ft. at corner
Rear Setback	3 ft. min.
j. PRIVATE FRONTAGES (see Table 4-3A-J)	
Common Yard	permitted
Porch & Fence	permitted
Dooryard	not permitted
Lightcourt	not permitted
Stoop	not permitted
Forecourt	not permitted
Shopfront	not permitted
Gallery	not permitted
Arcade	not permitted
For a summary refer to Table 4-11	
PARKING PROVISIONS	
See Table 4-4 & Table 4-7	

"N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

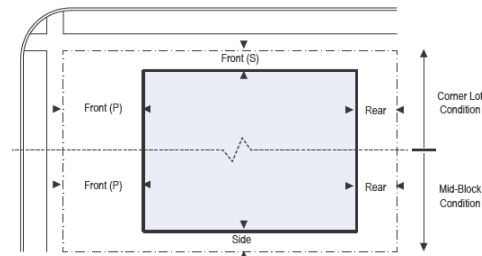
BUILDING CONFIGURATION

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. Stories may not exceed 14 ft. in height from finished floor, except for a first floor Commercial Function, which shall be a minimum of 11 ft. and may be a maximum of 25 ft.
3. Height shall be measured to the eave or roof deck as specified on Table 4-2.



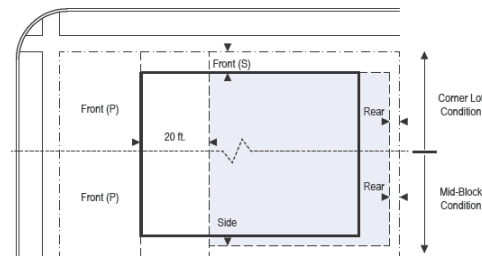
SETBACKS - PRINCIPAL BLDG

1. The Façades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Façades shall be built along the Principal Frontage to the minimum specified width in the table.



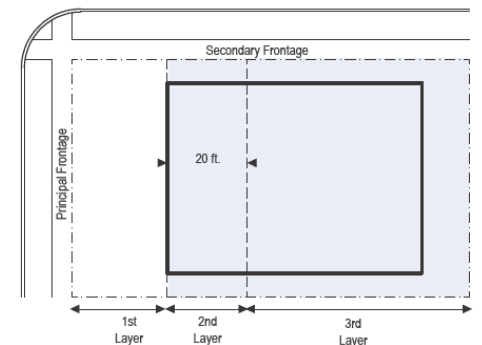
SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the lot lines as shown.



PARKING PLACEMENT


1. Uncovered parking spaces may be provided within the second and third Layer as shown in the diagram (see Table 5-1).
2. Covered parking shall be provided within the third Layer as shown in the diagram (see Table 5-1). Side or rear-entry garages may be allowed in the second Layer by Warrant.
3. Trash containers shall be stored within the third Layer.



ARTICLE 4. BUILDING SCALE PLANS

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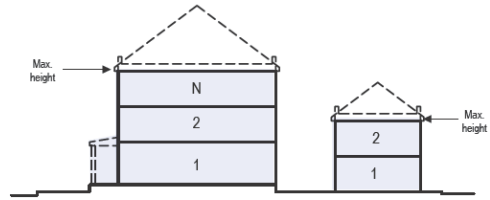
TABLE 4-6B: Building Scale Plans: General Urban Zone (T-4) Graphics

 <p style="text-align: right;">(see Table 3-2)</p>	
I. BUILDING FUNCTION (see Table 4-4 & Table 4-5)	
Residential	limited use
Lodging	limited use
Office	limited use
Retail	limited use
k. BUILDING CONFIGURATION (see Table 4-2)	
Principal Building	3 stories max., 2 min.
Outbuilding	2 stories max.
f. LOT OCCUPATION	
Lot Width	18 ft. min., 96 ft. max.
Lot Coverage	70% max.
i. BUILDING DISPOSITION (see Table 4-1)	
Edgeyard	permitted
Sideyard	permitted
Rearyard	permitted
Courtyard	not permitted
g. SETBACKS – PRINCIPAL BUILDING	
Front Setback Principal (P)	6 ft. min., 18 ft. max.
Front Setback Secondary (S)	6 ft. min., 18 ft. max.
Side Setback	0 ft. min.
Rear Setback	3 ft. min.*
Frontage Buildout	60% min. at Setback
h. SETBACKS – OUTBUILDING	
Front Setback	20 ft. min. & bldg. Setback
Side Setback	0 ft. min. or 3 ft. at corner
Rear Setback	3 ft. min.
j. PRIVATE FRONTAGES (see Table 4-3A-J)	
Common Yard	not permitted
Porch & Fence	permitted
Dooryard	permitted
Lightcourt	permitted
Stoop	permitted
Forecourt	permitted
Shopfront	permitted
Gallery	permitted
Arcade	not permitted
For a summary refer to Table 4-11	
PARKING PROVISIONS	
See Table 4-4 & Table 4-7	

*or 15 ft. from center line of alley
 "N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

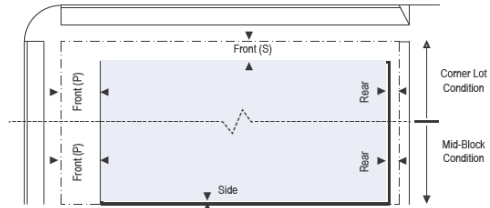
BUILDING CONFIGURATION

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. Stories may not exceed 14 ft. in height from finished floor, except for a first floor Commercial Function, which shall be a minimum of 11 ft. and may be a maximum of 25 ft.
3. Height shall be measured to the eave or roof deck as specified on Table 4-2.



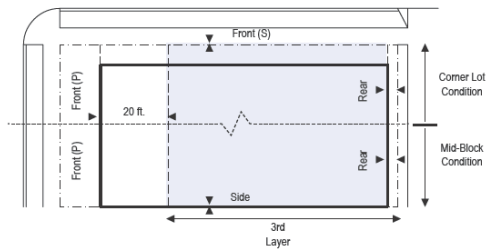
SETBACKS - PRINCIPAL BLDG

1. The Façades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Façades shall be built along the Principal Frontage to the minimum specified width in the table.



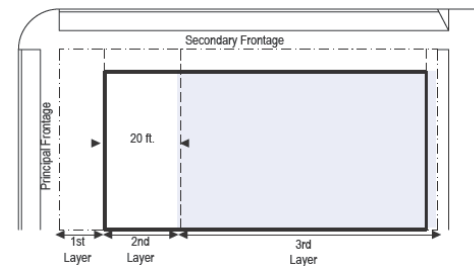
SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the lot lines as shown.



PARKING PLACEMENT

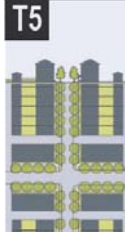
1. Uncovered parking spaces may be provided within the third Layer as shown in the diagram (see Table 5-1).
2. Covered parking shall be provided within the third Layer as shown in the diagram (see Table 5-1).
3. Trash containers shall be stored within the third Layer.



ARTICLE 4. BUILDING SCALE PLANS

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TABLE 4-6C: Building Scale Plans: Urban Center Zone (T-5) Graphics



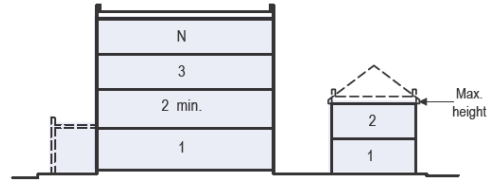
(see Table 3-2)

I. BUILDING FUNCTION (see Table 4-4 & Table 4-5)	
Residential	open use
Lodging	open use
Office	open use
Retail	open use
k. BUILDING CONFIGURATION (see Table 4-2)	
Principal Building	5 stories max., 2 min.
Outbuilding	2 stories max.
f. LOT OCCUPATION	
Lot Width	18 ft. min., 180 ft. max.
Lot Coverage	80% max.
i. BUILDING DISPOSITION (see Table 4-1)	
Edgeyard	not permitted
Sideyard	permitted
Rearyard	permitted
Courtyard	permitted
g. SETBACKS – PRINCIPAL BUILDING	
Front Setback Principal (P)	2 ft. min., 12 ft. max.
Front Setback Secondary (S)	2 ft. min., 12 ft. max.
Side Setback	0 ft. min., 24 ft. max.
Rear Setback	3 ft. min.*
Frontage Buildout	80% min. at Setback
h. SETBACKS – OUTBUILDING	
Front Setback	40 ft. max. from rear prop.
Side Setback	0 ft. min. or 2 ft. at corner
Rear Setback	3 ft. max.
j. PRIVATE FRONTAGES (see Table 4-3A-J)	
Common Yard	not permitted
Porch & Fence	not permitted
Dooryard	permitted
Lightcourt	permitted
Stoop	permitted
Forecourt	permitted
Shopfront	permitted
Gallery	permitted
Arcade	permitted
For a summary refer to Table 4-11	
PARKING PROVISIONS	
See Table 4-4 & Table 4-7	

*or 15 ft. from center line of alley
 "N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

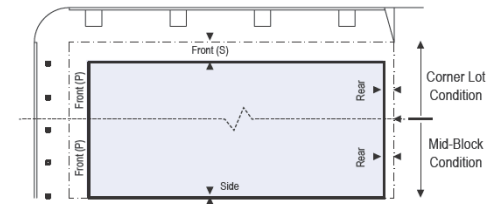
BUILDING CONFIGURATION

- Building height shall be measured in number of Stories, excluding Attics and raised basements.
- Stories may not exceed 14 ft. in height from finished floor, except for a first floor Commercial Function, which shall be a minimum of 11 ft. and may be a maximum of 25 ft.
- Height shall be measured to the eave or roof deck as specified on Table 4-2.
- Expression Lines shall be as shown in Table 4-2.



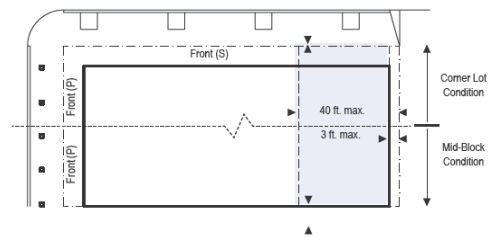
SETBACKS - PRINCIPAL BLDG

- The Façades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
- Façades shall be built along the Principal Frontage to the minimum specified width in the table.



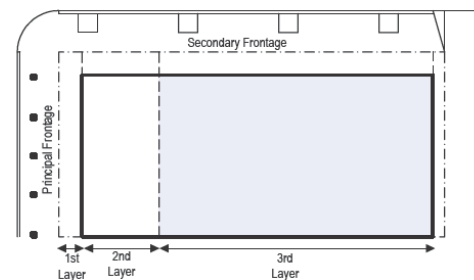
SETBACKS - OUTBUILDING

- The Elevations of the Outbuilding shall be distanced from the lot lines as shown.



PARKING PLACEMENT

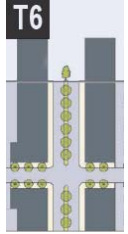
- Uncovered parking spaces may be provided within the third Layer as shown in the diagram (see Table 5-1).
- Covered parking shall be provided within the third Layer as shown in the diagram (see Table 5-1).
- Trash containers shall be stored within the third Layer.



ARTICLE 4. BUILDING SCALE PLANS

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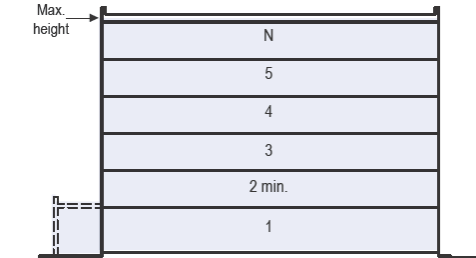
TABLE 4-6D: Building Scale Plans: Urban Core Zone (T-6) Graphics

 <p style="text-align: right;">(see Table 3-2)</p>	
I. BUILDING FUNCTION (see Table 4-4 & Table 4-5)	
Residential	open use
Lodging	open use
Office	open use
Retail	open use
k. BUILDING CONFIGURATION (see Table 4-2)	
Principal Building	8 stories max., 2 min.
Outbuilding	N/A
f. LOT OCCUPATION	
Lot Width	18 ft. min., 700 ft. max.
Lot Coverage	90% max.
i. BUILDING DISPOSITION (see Table 4-1)	
Edgeyard	not permitted
Sideyard	not permitted
Rearyard	permitted
Courtyard	permitted
g. SETBACKS – PRINCIPAL BUILDING	
Front Setback Principal (P)	2 ft. min., 12 ft. max.
Front Setback Secondary (S)	2 ft. min., 12 ft. max.
Side Setback	0 ft. min., 24 ft. max.
Rear Setback	0 ft. min.
Frontage Buildout	80% min. at Setback
h. SETBACKS – OUTBUILDING	
Front Setback	N/A
Side Setback	N/A
Rear Setback	N/A
j. PRIVATE FRONTAGES (see Table 4-3A-J)	
Common Yard	not permitted
Porch & Fence	not permitted
Dooryard	not permitted
Lightcourt	not permitted
Stoop	permitted
Forecourt	permitted
Shopfront	permitted
Gallery	permitted
Arcade	permitted
For a summary refer to Table 4-11	
PARKING PROVISIONS	
See Table 4-4 & Table 4-7	

"N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

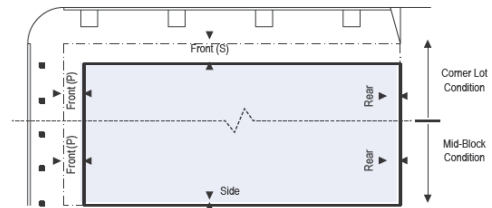
BUILDING CONFIGURATION

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. Stories may not exceed 14 ft. in height from finished floor, except for a first floor Commercial Function, which shall be a minimum of 11 ft. and may be a maximum of 25 ft.
3. Height shall be measured to the eave or roof deck as specified on Table 4-2.
4. Extension Lines shall be as shown in Table 4-2.



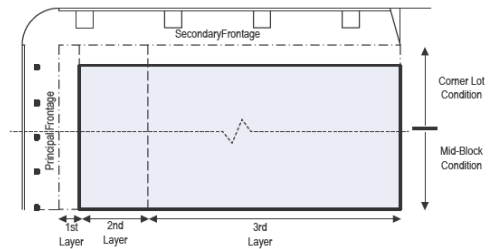
SETBACKS - PRINCIPAL BLDG

1. The Façades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Façades shall be built along the Principal Frontage to the minimum specified width in the table.



PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the third Layer as shown in the diagram (see Table 5-1).
2. Covered parking shall be provided within the third Layer as shown in the diagram (see Table 5-1).
3. Trash containers shall be stored within the third Layer.



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4.9 PARKING AND DENSITY CALCULATIONS

- 4.9.1 **Specific to Rural and Sub-Urban Zones (T-2 & T-3)**
- a. Buildable Density on a Lot shall be determined by the actual parking provided within the Lot as applied to the Functions permitted in Table 4-4.
- 4.9.2 **Specific to General Urban, Urban Center and Urban Core Zones (T-4, T-5 & T-6)**
- a. Buildable Density on a Lot shall be determined by the sum of the actual parking that is provided:
 - i. Within the Lot
 - ii. Along the on-street parking lane corresponding to the Lot Frontage; and
 - iii. By purchase or lease from a Civic Parking Reserve within the Pedestrian Shed, if available.
 - b. The actual parking may be adjusted upward according to the Shared Parking Factor of Table 4-7 to determine the Effective Parking. The Shared Parking Factor is available for any two Functions within any pair of adjacent Blocks.
 - c. Based on the Effective Parking available, the Density of the projected Function may be determined according to Table 4-4.
 - d. Within the overlay area of a Transit-Oriented Development (TOD) the Effective Parking may be further adjusted upward by thirty percent (30%).
 - e. The total Density within each Transect Zone shall not exceed that specified by an approved Regulating Plan based on Article 3.
 - f. Accessory Units do not count toward Density calculations.
 - g. Liner Buildings less than 30 feet deep and no more than two Stories shall be exempt from parking requirements.

TABLE 4-7: Parking Calculation.

The Required Parking table summarizes the parking requirements of Table 4-4 for each site or, conversely, the amount of building allowed on each site given the parking available. Use the Shared Parking Factor in the event of Mixed Use. The actual parking is calculated by adding the total number of spaces required by each separate Function and dividing the total by the appropriate factor from the Shared Parking Factor matrix.

	REQUIRED PARKING (See Table 4-13)			SHARED PARKING FACTOR	
	T-2 & T-3	T-4	T-5 & T-6	Function	with Function
RESIDENTIAL	2.0 / dwelling	1.5 / dwelling	1.0 / dwelling	RESIDENTIAL	RESIDENTIAL
LODGING	1.0 / bedroom	1.0 / bedroom	1.0 / bedroom	LODGING	LODGING
OFFICE	3.0 / 1000 sq. ft.	3.0 / 1000 sq. ft.	2.0 / 1000 sq. ft.	OFFICE	OFFICE
RETAIL	4.0 / 1000 sq. ft.	4.0 / 1000 sq. ft.	3.0 / 1000 sq. ft.	RETAIL	RETAIL
CIVIC	To be determined by Warrant				
OTHER	To be determined by Warrant				

The Shared Parking Factor matrix is a diamond-shaped grid. The top row shows 'RESIDENTIAL' with 'RESIDENTIAL' and a factor of 1. The second row shows 'LODGING' with 'LODGING' (1) and 'RESIDENTIAL' (1.1). The third row shows 'OFFICE' with 'OFFICE' (1), 'RESIDENTIAL' (1.1), and 'LODGING' (1.1). The bottom row shows 'RETAIL' with 'RETAIL' (1), 'OFFICE' (1.2), 'LODGING' (1.2), and 'RESIDENTIAL' (1.4). The center of the diamond contains a 3x3 grid of factors: 1.1, 1.1, 1.1 in the top row; 1.4, 1.7, 1.7 in the middle row; and 1.3, 1, 1.3 in the bottom row.

4.10 PARKING LOCATION STANDARDS

- 4.10.1 **General to Rural, Sub-Urban, General Urban, Urban Center and Urban Core Zones (T-2, T-3, T-4, T-5 & T-6)**
- a. Open parking areas shall be masked from the Frontage by a Building or Street Screen. For Street Screen standards refer to Section 4.4.5e(i-iv).
 - b. For buildings on B-Grids, open parking areas shall be masked by a hedge 3.5 feet in height. Open parking areas may be allowed unmasked on the Frontage by Warrant.

ARTICLE 4. BUILDING SCALE PLANS
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Open parking areas on corner lots at intersections with the A-Grid shall be masked by a Street Screen.

- 4.10.2 **Specific to Rural Zone (T-2)**
- a. Open parking areas shall be located at the second and third Lot Layers, except that Driveways, drop-offs and unpaved parking areas may be located at the first Lot Layer. (Table 5-1)
 - b. Garages and carports shall be located at the third Layer except that side- or rear-entry types may be allowed in the second Layer by Warrant.
- 4.10.2 **Specific to Sub-Urban Zone (T-3)**
- a. Open parking areas shall be located at the second and third Lot Layers, except that Driveways and drop-offs may be located at the first Lot Layer. (Table 5-1)
 - b. Garages shall be located at the third Layer except that side- or rear-entry types may be allowed in the second Layer by Warrant.
 - c. Carports shall be prohibited.
- 4.10.3 **Specific to Sub-Urban and General Urban Zones (T-3 & T-4)**
- a. Parking shall be accessed by Rear Alleys. The Rear Alley shall serve as the primary access to the fire lane, if one is required.
 - a. Driveways shall be limited to one per Frontage and shall be no wider than 10 feet in the first Layer.
 - i. A second Driveway may be approved by Warrant.
 - ii. If a Lot does not have a Rear Alley, a wider Driveway may be approved when fire lane access is required because hose lay distances from the street are extended beyond the limits of the International Fire Code.
- 4.10.4 **Specific to General Urban Zone (T-4)**
- a. All parking lots, garages and Parking Structures shall be located at the third Layer.
 - b. Parking Structures on the A-Grid shall have Liner Buildings at the first Story or higher.
 - c. Carports shall be prohibited.
- 4.10.5 **Specific to Urban Center and Urban Core Zones (T-5 & T-6)**
- a. Parking shall be accessed by Rear Alleys. The Rear Alley shall serve as the primary access to the fire lane, if one is required.
 - b. All parking lots, garages, and Parking Structures shall be located at the third Layer. (Table 5-1)
 - c. Carports shall be prohibited.
 - d. Vehicular entrances to parking lots, garages, and Parking Structures shall be no wider than 24 feet at the Frontage.
 - e. Pedestrian exits from all parking lots, garages, and Parking Structures shall be directly to a Frontage Line (i.e., not directly into a building) except underground levels which may be exited by pedestrians directly into a building.
 - f. Parking Structures on the A-Grid shall have Liner Buildings lining the first and second Stories.
 - g. A minimum of one City-approved bicycle rack place shall be provided within the Public or Private Frontage for every ten vehicular parking spaces.
- 4.10.6 **Specific to Urban Core Zone (T-6)**
- a. Any building exceeding 6 Stories shall provide a Parking Structure.

ARTICLE 4. BUILDING SCALE PLANS
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4.11 NATURAL DRAINAGE STANDARDS

- 4.11.1 **General to Sub-Urban, General Urban, Urban Center and Urban Core Zones (T-3, T-4, T-5 & T-6)**
- a. Balconies should be equipped with planter boxes designed to capture runoff from the balcony.
 - b. Buildings may be equipped with roofs of shallow 4-inch soils and drought-tolerant plants. Buildings approved for Intensive Green Roofs may hold soils deeper than 4" and larger plants and trees.
 - c. Green walls, if provided, shall be restricted to non-invasive species.
 - d. Cisterns may be used to capture and re-circulate stormwater from buildings.
- 4.11.2 **Specific to Sub-Urban Zone (T-3)**
- a. The landscape installed shall consist primarily of native species (See Table 4-9) requiring minimal irrigation, fertilization, and maintenance.
- 4.11.3 **Specific to Sub-Urban & General Urban Zones (T-3 & T-4)**
- a. Native plant perennial landscapes shall replace turf grass wherever possible and be highly diverse (See Table 4-9). These shall be placed lower than walkways, not mounded up.
- 4.11.4 **Specific to General Urban, Urban Center & Urban Core Zones (T-4, T-5 & T-6)**
- a. The landscape installed shall consist primarily of durable species tolerant of soil compaction (See Table 4-9).
 - b. Planter boxes shall be bottomless, flow-through boxes with native plants, placed next to buildings and designed to capture building runoff. They may be placed in courtyards or adjacent sidewalks with runoff sent to them via French drains or hidden pipes.

4.12 ARCHITECTURAL STANDARDS

- 4.12.1 **General to Sub-Urban, General Urban, Urban Center and Urban Core Zones (T-3, T-4, T-5 & T-6)**
- a. In addition to the specific standards shown in Tables 4-3B-J, general standards shall be as follows:
 - b. No more than two Façade Materials shall be used on any exterior wall. These materials shall be considered Primary Colors for Principle 9.0 of the Community Appearance Manual v. 1.0.
 - c. Vertical joints between materials shall only occur at inside corners.
 - d. Doors and windows that operate as sliders are prohibited along Frontages.
 - e. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porch and attached shed roofs may be no less than 2:12.
 - f. The façades on Retail Frontages shall be detailed as storefronts and glazed with no less than 70% of the sidewalk-level story.
 - g. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment, whichever is greater.
 - h. Porches and Balconies shall be constructed using only the same exterior materials as the Principal Building. Wood and cementitious fiberboard shall be painted the same color as the trim of the Principal Building. The roof shall match the roof materials of the Principal Building.
 - i. Fences, if provided within the First Lot Layer, shall be wrought iron or painted wood board with a maximum height of three and one-half (3 ½) feet. Fences at other

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Layers shall be wrought iron with a minimum height of six (6) feet and maximum height of eight (8) feet. Chain link is prohibited.

- j. A wrought iron fence and dense landscape screen shall be installed on the lot lines abutting a residential function either within or outside the District. Fences shall include gates for pedestrian accessibility, where appropriate.
- k. Garage doors shall be a maximum of 9 feet in width if visible from streets, sidewalks, or public spaces. Alley-accessed garages may have 16 feet wide doors.
- l. Sloped roofs shall be shingle, tile or architectural standing seam metal roofing. Shingle roofing shall be slate, synthetic wood or better. Tile roofing shall be clay, concrete or metal. Standard pre-engineered metal roofing shall be prohibited.
- m. Awnings shall be non-translucent canvas on a light metal frame or architectural standing seam metal. Awnings shall be sloped rectangles without end panels or curved or sloped shapes with end panels. Standard pre-engineered metal awnings shall be prohibited.
- n. Gasoline pumps shall be located at the third Lot Layer. Along the B-Grid, gasoline pumps may be located at the first or second Lot Layer by Warrant.
- o. All new construction shall be equipped with an automatic approved sprinkler system.

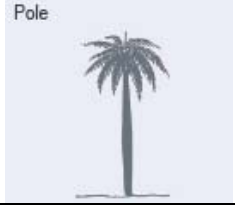
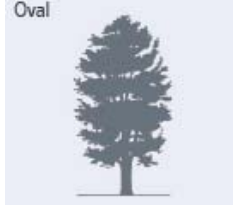
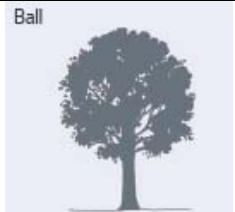
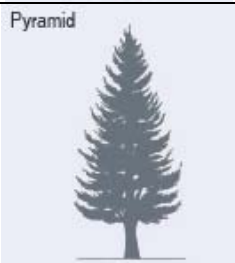


4.13 LANDSCAPE STANDARDS

- 4.13.1 **General to Rural, Sub-Urban, General Urban, Urban Center and Urban Core Zones (T-2, T-3, T-4, T-5 & T-6)**
 - a. Impermeable surface shall be confined to the ratio of Lot coverage specified in Table 4-6A-D and Table 4-11(f).
 - b. Landscaping installed to meet the requirements of this section shall be of a species indicated in Table 4-9.
- 4.13.2 **Specific to Rural, Sub-Urban and General Urban Zones (T-2, T-3 & T-4)**
 - a. The first Layer may not be paved, with the exception of Driveways as specified in Section 4.10. (Table 5-1)
- 4.13.3 **Specific to Sub-Urban Zone (T-3)**
 - a. A minimum of two trees shall be planted within the first Layer for each 30 feet of Frontage Line or portion thereof. (Table 5-1)
 - b. Trees may be of single or multiple species as shown on Table 4-8.
 - c. Trees shall be naturalistically clustered.
 - d. Lawn shall be permitted by Warrant.
- 4.13.4 **Specific to General Urban Zone (T-4)**
 - a. A minimum of one tree shall be planted within the first Layer for each 30 feet of Frontage Line or portion thereof. (Table 5-1)
 - b. Trees shall be a single species to match the species of Street Trees on the Public Frontage, or as shown on Table 4-8.
 - c. Lawn shall be permitted By Right.
- 4.13.5 **Specific to Urban Center and Urban Core Zones (T-5 & T-6)**
 - a. Trees shall not be required in the first Layer.
 - b. The first Layer may be paved to match the pavement of the Public Frontage.

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TABLE 4-8: Public Planting

The suitable street trees for each Transect Zone within the District are specified herein. Street trees vary in their form and also in their suitability for urban use. The shape of the canopy must integrate with the degree of Setback within the Transects. The Planning Division shall select the species that are appropriate for the bioregion.

	T-1	T-2	T-3	T-4	T-5	T-6
Pole 	X	X	X	X	X	X
Oval 	X	X	X	X	X	X
Ball 	X	X	X	X	X	X
Pyramid 	X	X	X	X		
Umbrella 	X	X	X	X		
Vase 	X	X	X	X		

ARTICLE 4. BUILDING SCALE PLANS

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TABLE 4-9: Xeriscape-North Texas:

Provided is a list of heat and drought tolerant plants which are native and adapted to the North Texas Region.

Shade Trees – Large Canopy

American Elm (Vase)	Pecan-Hickory (Vase)
Black Hickory (Oval)	Post Oak (Vase)
Bur Oak (Vase)	Red Maple (Vase)
Cedar Elm (Vase)	Red Oak (Oval)
Chinese Tallow (Ball)	Southern Magnolia (Oval)
Chinkapin Oak (Vase)	Sweetgum (Vase)
Green Ash (Ball)	Thornless Honey Locust (Umbrella)
Lacebark Elm (Vase)	White Oak (Vase)
Live Oak (Umbrella)	Winged Elm (Vase)
Mesquite (Umbrella/Vase)	

Shade Trees – Small Canopy

Bald Cypress (Oval)	Ginkgo (Vase)
Chinese Pistachio (Ball)	Goldenrain Tree (Ball)
Desert Willow (Vase)	River Birch (Vase)

Evergreen Trees

Arizona Cypress (Pyramid)	Eastern Red Cedar (Pyramid)
Austrian Pine (Ball)	Japanese Black Pine (Ball)
Deodar Cedar (Pyramid)	Savannah Holly (Oval)

Ornamental Trees

Aristocrat Pear (Oval)	Purple Leaf Plum (Ball)
Crab Apple (Ball)	Red Bud (Umbrella)
Crape Myrtle (Vase)	Wax Myrtle (Ball)
Deciduous Holly (Vase)	Yaupon Holly (Ball)
Flowering Peach (Ball)	Vitex (Ball)

Other Protected Trees

Pond Cypress (Pyramid)	Western Soapberry (Vase)
Texas Ash (Ball)	

Shrubs & Woody Annuals

Abelia	Fragrant Sumac
Agarito	Red Yucca
Althea	Salvia Species
American Beauty Berry	Texas Sage
Arkansas Yucca	Texas Star Hibiscus
Blue Carpet Juniper	Texas Lantana
Copper Canyon Dasiy	Turk's Cap
Flame Acanthus	

Perennial & Annual Native Plants

Barbra's Buttons	Mealy Blue Sage
Bergamot	Mexican Hat
Big Red Saliva	Milkweed
Bitterweed	Missouri Primrose
Blackfoot Daisy	Moss Rose
Bluebonnets	Partridge Pea
Blue-eyed Grass	Pink Evening Primrose
Blue Flax	Prairie Verbena
Calyophus	Purple Cone Flower (Echinaceae Apec.)
Cedar Sage	Rudbeckia
Coreopsis	Ruellia
Cow Pen Daisy	Salvia Coccinia
Drummond Phlox	Skullcap
Engelmann Daisy Fall	Snow-on-the-Prairie
Obedient Plant	Spiderwort
Eryngo	Spring Rain Lily
Fall Obedient Plant	Standing Cypress
Four-nerve Daisy (Hymenoxys)	Texas Bluebell
Gaillardia	Two-leafed Senna
Green-thread	Wild Ageratum
Horsemint	Wild Foxglove (P. cobeia)
Lantana species	Wild Hyacinth
Liatris Species	Wine-cups
Maximillian Sunflower	Zexmenia

Ground Covers & Vines, Natives

Cardinal Vine	Frogfruit
Carolina Jessamine	Horseherb
Climbing Prairie Rose	Hyacinth Bean Vine
Coralberry	MO Violets
Coral Honeysuckle	Trumpet Vine
Crossvine	Passion Vine
Cypress Vine	

Non-Native

Ajuga	Mondo Grass
Artemesia	Sedum
Asian Jasmine	Thrift
English Ivy	Vinca Minor
Lirope	

Grasses

Big Blue Stem	Inland Seoats
Buffalo Grass	Lindheimer Muhly
Eastern Gamma Grass	Little Bluestem
Gulf Muhly	Seep Muhly
Indian Grass	Sideoats Grama

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4.14 SIGNAGE STANDARDS

Unless stated otherwise, the provisions of Chapter 13 of the Mesquite City Code (MCC) shall not apply within the K20 District. Signage in the District shall be restricted to the following sign types and specifications:

- 4.14.1 **General to Rural, Sub-Urban, General Urban, Urban Center and Urban Core Zones (T-2, T-3, T-4, T-5 & T-6)**
 - a. The address number, no more than 6 inches measured vertically, shall be attached to the building in proximity to the Principal Entrance or at a mailbox.
 - b. Monument signs may be erected on Lots along the B-Grid. The number, height, area and placement of monument signs shall be governed by MCC §10-73(10)(a) and (b).
- 4.14.2 **Specific to Rural and Sub-Urban Zones (T-2 & T-3)**
 - a. Signage shall not be illuminated.
- 4.14.3 **Specific to General Urban, Urban Center and Urban Core Zones (T-4, T-5 & T-6)**
 - a. Signage shall be externally illuminated, except that signage within the Shopfront glazing may be neon lit.
- 4.14.4 **Specific to Rural, Sub-Urban and General Urban Zones (T-2, T-3 & T-4)**
 - a. One blade sign for each non-residential function may be permanently installed perpendicular to the Façade within the first Layer. Such a sign shall not exceed a total of 4 square feet and shall clear 8 feet above the Sidewalk.
 - b. One wall sign may be applied to the Façade of each building, and shall not exceed 3 feet in height, one-third the width of the Façade, and a total of 40 square feet.
- 4.14.5 **Specific to Urban Center & Urban Core Zones (T-5 & T-6)**
 - a. Blade signs, not to exceed 6 square ft. for each separate business entrance, may be permanently installed perpendicular to the Façade, and shall clear 8 feet above the Sidewalk.
 - b. One wall sign may be applied to the Façade of each building, and shall not exceed 3 feet in height, one-third the width of the Façade, and a total of 40 square feet.
 - c. One vertical projecting sign may be permitted for each separate business entrance. The height of the sign shall exceed the width. Vertical projecting signs shall not extend more than 3 feet from the wall on which the sign is mounted, shall clear 10 feet above the sidewalk, and the top of the sign shall not extend above the lowest roof line of the building.

4.15 LIGHTING STANDARDS






- 4.15.1 **General to Sub-Urban, General Urban, Urban Center and Urban Core Zones (T-3, T-4, T-5 & T-6)**
 - a. Streetlights types shall be limited to the types illustrated in Table 4-9.
- 4.15.2 **Performance Standards Specific to Transect Zones**

Within:	No lighting level measured at the building Frontage Line shall exceed:
T-1	0.5 fc.
T-2, T-3 & T-4	1.0 fc.
T-5	2.0 fc.
T-6	5.0 fc.

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TABLE 4-10: Public Lighting:

The suitable Public Lighting Types for each Transect Zone in the District are established herein.

	T-1	T-2	T-3	T-4	T-5	T-6
Cobra Head 	X	X	X	X	X	X
Pipe 	X	X	X	X	X	X
Post 	X	X	X	X	X	X
Column 	X	X	X	X		
Double Column 	X	X	X	X		

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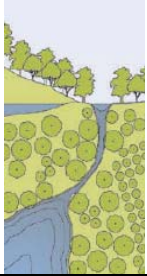


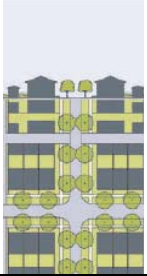
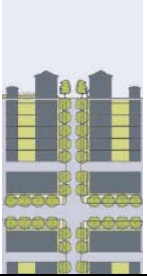
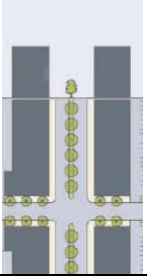
4.16 *UTILITY STANDARDS*

4.16.1 Utilities in the District shall be placed according to the specifications in Section 3.8.

ARTICLE 4. BUILDING SCALE PLANS

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TABLE 4-II: Interim K20 Development Code Summary

						
	T-1	T-2	T-3	T-4	T-5	T-6
	NATURAL ZONE	RURAL ZONE	SUB-URBAN ZONE	GENERAL URBAN ZONE	URBAN CENTER ZONE	URBAN CORE ZONE
a. ALLOCATION OF ZONES per Pedestrian Shed						
CLD requires	50% minimum		10-30%	20-40%	not permitted	not permitted
TND requires	no minimum	no minimum	20-30%	40-60%	10-30%	not permitted
TCD requires	no minimum	not permitted	10-30%	10-30%	30-60%	not permitted
RND requires	no minimum	not permitted	10-30%	10-30%	40-80%	not permitted
RCD requires	no minimum	not permitted	not permitted	10-30%	10-30%	40-80%
b. BASE RESIDENTIAL DENSITY						
By Right	by Ordinance	1 unit / ac. gross	6 units / ac. gross	12 units / ac. gross	24 units / ac. gross	96 units / ac. gross
Commercial Functions	by Ordinance	by Ordinance	10-20%	20-30%	30-50%	50-70%
c. BLOCK SIZE						
Block Perimeter	no maximum	no maximum	2600 ft. max	2200 ft. max	2000 ft. max	1600 ft. max
Block Face	no maximum	no maximum	1000 ft. max	800 ft. max	600 ft. max	500 ft. max
d. THOROUGHFARES						
HV	permitted	permitted	permitted	not permitted	not permitted	not permitted
BV	not permitted	not permitted	permitted	permitted	permitted	permitted
AV	not permitted	not permitted	permitted	permitted	permitted	permitted
CS	not permitted	not permitted	not permitted	not permitted	permitted	permitted
DR	not permitted	not permitted	permitted	permitted	permitted	permitted
ST	not permitted	not permitted	permitted	permitted	permitted	not permitted
RD	permitted	permitted	permitted	not permitted	not permitted	not permitted
Rear Alley	not permitted	not permitted	required	required	required	required
Path	permitted	permitted	permitted	permitted	not permitted	not permitted
Passage	not permitted	not permitted	permitted	permitted	permitted	permitted
Bicycle Trail	permitted	permitted	permitted	not permitted	not permitted	not permitted
Bicycle Lane	permitted	permitted	permitted	permitted	not permitted	not permitted
Bicycle Route	permitted	permitted	permitted	permitted	permitted	permitted
e. CIVIC SPACES						
Park	permitted	permitted	permitted	by Warrant	by Warrant	by Warrant
Green	not permitted	not permitted	permitted	permitted	permitted	not permitted
Square	Not permitted	not permitted	not permitted	permitted	permitted	permitted
Plaza	not permitted	not permitted	not permitted	not permitted	permitted	permitted
Playground	permitted	permitted	permitted	permitted	permitted	permitted
f. LOT OCCUPATION						
Lot Width	not applicable	by Warrant	72 ft. min 120 ft. max	18 ft. min 96 ft. max	18 ft. min 180 ft. max	18 ft. min 700 ft. max
Lot Coverage	not applicable	by Warrant	60% max	70% max	80% max	90% max
g. SETBACKS – PRINCIPAL BUILDING						
Front Setback Principal	not applicable	48 ft. min	24 ft. min	6 ft. min 18 ft. max	2 ft. min 12 ft. max	2 ft. min 12 ft. max
Front Setback Secondary	not applicable	48 ft. min	12 ft. min	6 ft. min 18 ft. max	2 ft. min 12 ft. max	2 ft. min 12 ft. max
Side Setback	not applicable	96 ft. min	12 ft. min	0 ft. min	0 ft. min 24 ft. max	0 ft. min 24 ft. max
Rear Setback	not applicable	96 ft. min	12 ft. min	3 ft. min	3 ft. min	0 ft. min
Frontage Buildout	not applicable	not applicable	40% min	60% min	80% min	80% min
h. SETBACKS – OUTBUILDING						
Front Setback	not applicable	20 ft. min + bldg setback	20 ft. min + bldg setback	20 ft. min + bldg setback	40 ft. max from rear prop	not applicable
Side Setback	not applicable	3 ft. or 6 ft.	3 ft. or 6 ft. at corner	0 ft. min or 3 ft. at corner	0 ft. min or 2 ft. at corner	not applicable
Rear Setback	not applicable	3 ft. min	3 ft. min	3 ft.	3 ft. max	not applicable
i. BUILDING DISPOSITION						
Edgeyard	permitted	permitted	permitted	permitted	not permitted	not permitted
Sideyard	not permitted	not permitted	not permitted	permitted	permitted	not permitted
Rearyard	not permitted	not permitted	not permitted	permitted	permitted	permitted
Courtyard	not permitted	not permitted	not permitted	not permitted	permitted	permitted
j. PRIVATE FRONTAGES						
Common Yard	not applicable	permitted	permitted	not permitted	not permitted	not permitted
Porch & Fence	not applicable	not permitted	permitted	permitted	not permitted	not permitted
Dooryard	not applicable	not permitted	not permitted	permitted	permitted	not permitted
Lightcourt	not applicable	not permitted	not permitted	permitted	permitted	not permitted
Stoop	not applicable	not permitted	not permitted	permitted	permitted	permitted
Forecourt	not applicable	not permitted	not permitted	permitted	permitted	permitted
Shopfront & Awning	not applicable	not permitted	not permitted	permitted	permitted	permitted
Gallery	not applicable	not permitted	not permitted	permitted	permitted	permitted
Arcade	not applicable	not permitted	not permitted	not permitted	permitted	permitted
k. BUILDING CONFIGURATION						
Principal Building	not applicable	2 Stories max	2 Stories max	3 Stories max, 2 min	5 Stories max, 2 min	8 Stories max, 2 min
Outbuilding	not applicable	2 Stories max	2 Stories max	2 Stories max	2 Stories max	not applicable
l. BUILDING FUNCTION						
Residential	not applicable	restricted use	restricted use	limited use	open use	open use
Lodging	not applicable	restricted use	restricted use	limited use	open use	open use
Office	not applicable	restricted use	restricted use	limited use	open use	open use
Retail	not applicable	restricted use	restricted use	limited use	open use	open use

ARTICLE 4. BUILDING SCALE PLANS

INTERIM K20 DEVELOPMENT CODE: *City of Mesquite*

TABLE 4-12: Special District Summary:

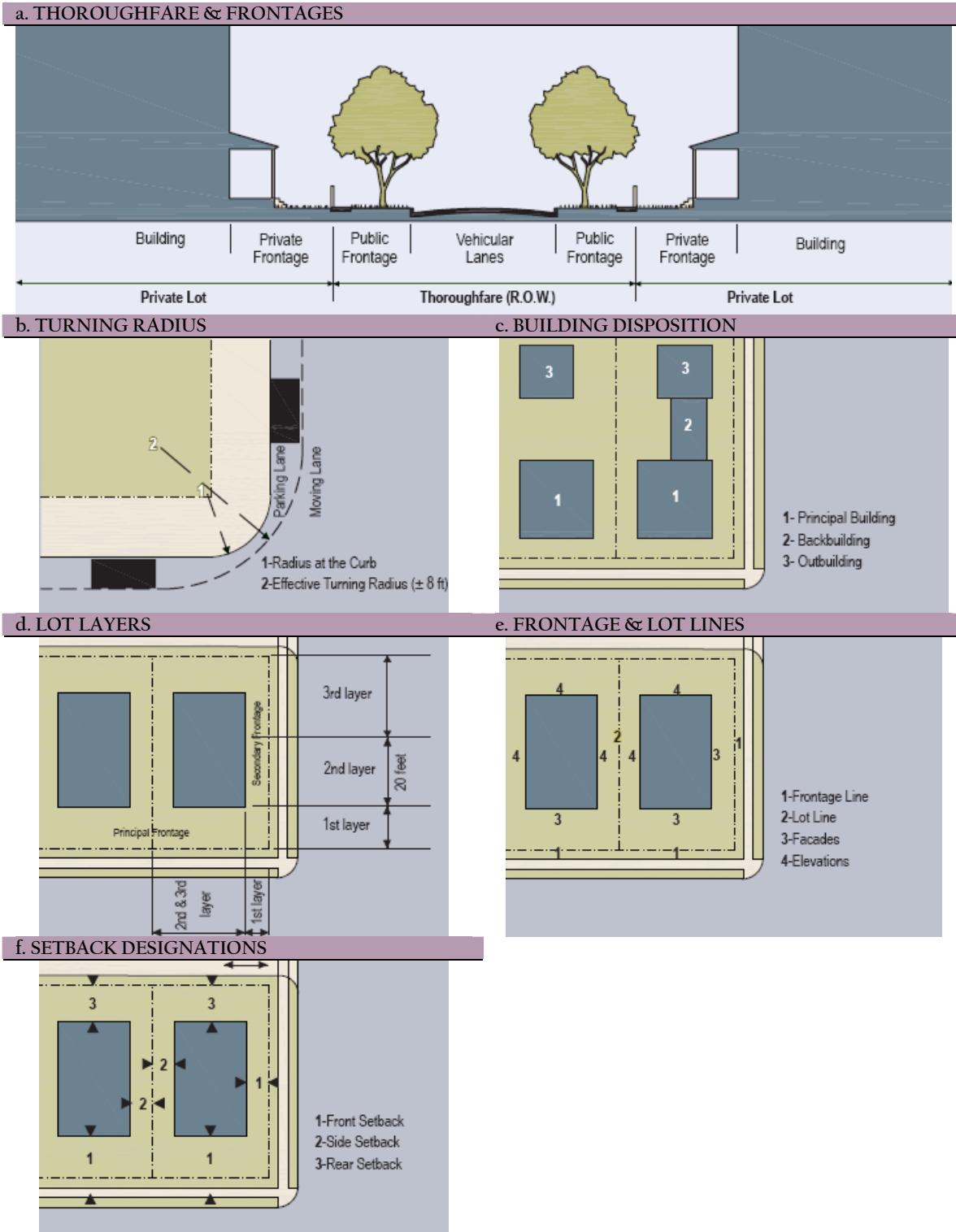
The metrics of each column of this table (SD1, SD2, etc.) are to be filled in for each Special District as they are approved. More pages may be added.

	SD1	SD2	SD3	SD4	SD5	SD6
a. ALLOCATION OF ZONES per Pedestrian Shed						
CLD						
TND						
TCD						
RND						
RCD						
TOD						
b. BASE RESIDENTIAL DENSITY						
By Right						
Commercial Functions						
c. BLOCK SIZE						
Block Perimeter						
Block Face						
d. THOROUGHFARES						
HW						
BV						
AV						
CS						
DR						
ST						
RD						
Rear Alley						
Path						
Passage						
Bicycle Trail						
Bicycle Lane						
Bicycle Route						
e. CIVIC SPACES						
Park						
Green						
Square						
Plaza						
Playground						
f. LOT OCCUPATION						
Lot Width						
Lot Coverage						
g. SETBACKS – PRINCIPAL BUILDING						
Front Setback						
Side Setback						
Rear Setback						
i. BUILDING DISPOSITION						
Edgeyard						
Sidyard						
Rearyard						
j. PRIVATE FRONTAGES						
Common Yard						
Porch & Fence						
Dooryard						
Lightcourt						
Stoop						
Forecourt						
Shopfront & Awning						
Gallery						
Arcade						
Parking Lot						
k. BUILDING CONFIGURATION						
Principal Building						
Outbuilding						
l. BUILDING FUNCTION						
Residential						
Lodging						
Office						
Retail						

ARTICLE 5. DEFINITIONS OF TERMS
INTERIM K20 DEVELOPMENT CODE: *City of Mesquite*

ARTICLE 5. DEFINITIONS OF TERMS
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TABLE 5-1: Illustrated Definitions



ARTICLE 5. DEFINITIONS OF TERMS

INTERIM K20 DEVELOPMENT CODE: *City of Mesquite*

DEFINITIONS

The remainder of Article 5 provides definitions for terms in this Code that are technical in nature or that otherwise may not reflect a common usage of the term. If a term is not defined in this Article, then the Planning Division shall determine the correct definition of the term based on industry planning standards.

A-Grid: cumulatively, those Thoroughfares that by virtue of their pre-existing pedestrian-supportive qualities, or their future importance to pedestrian connectivity, are held to the highest standards prescribed by this Code (see B-Grid).

Accessory Building: an Outbuilding with an Accessory Function or Accessory Unit.

Accessory Function: a use conducted in conjunction with, incidental to, and commonly associated with, the principal function of the lot.

Accessory Unit: an Apartment sharing ownership and utility connections with a Principal Building (Table 5-1).

Allee: a regularly spaced and aligned row of trees usually planted along a Thoroughfare or Path.

Apartment: a Residential unit sharing a building and a Lot with other units and/or uses. **Applicant:** the person, firm or corporation that proposes to develop land that is subject to the application of the K20 District.

Arcade: a Private Frontage conventional for Retail use wherein the Façade is a colonnade supporting habitable space that overlaps the Sidewalk, while the Façade at Sidewalk level remains at the Frontage Line.

Attic: the interior part of a building contained within its roof structure.

Avenue (AV): a Thoroughfare of high vehicular capacity and low to moderate speed, acting as a short distance connector between urban centers, and usually equipped with a landscaped median.

B-Grid: cumulatively, those Thoroughfares that by virtue of their use, location, or absence of pre-existing pedestrian-supportive qualities, may meet a standard lower than that of the A-Grid (see A-Grid).

BRT: see Bus Rapid Transit.

Backbuilding: a single-Story structure connecting a Principal Building to an Outbuilding.

Base Density: the number of dwelling units per acre before adjustment for other Functions (see Density).

Bed and Breakfast: an owner-occupied Lodging type offering 1 to 5 bedrooms, providing, for a fee, sleeping accommodations and customary lodging services, permitted to serve breakfast in the mornings to guests.

Bicycle Lane (BL): a dedicated bicycle lane running within a moderate-speed vehicular Thoroughfare, demarcated by striping.

Bicycle Route (BR): a Thoroughfare suitable for the shared use of bicycles and automobiles moving at low speeds.

Bicycle Trail (BT): a bicycle way running independently of a vehicular Thoroughfare.

Bioswale: an extended Rain Garden that sometimes runs the length of the block.

Block: the aggregate of private Lots, Passages, and Rear Alleys, circumscribed by Thoroughfares.

Block Face: the aggregate of all the building Façades on one side of a Block.

Boulevard (BV): a Thoroughfare designed for high vehicular capacity and moderate speed, traversing an Urbanized area. Boulevards are usually equipped with Slip Roads buffering Sidewalks and buildings.

Brownfield: an area previously used primarily as an industrial site.

Building of Value: a structure designated for protection by Historic Mesquite, Inc.

Bus Rapid Transit: a rubber tire system with its own right-of-way or dedicated lane along at least 70% of its route, providing transit service that is faster than a regular bus.

By Right: characterizing a proposal or component of a proposal for a Community Plan or Building Scale Plan that complies with the Code and is permitted and processed administratively, without public hearing (see Warrant and Variance).

ARTICLE 5. DEFINITIONS OF TERMS

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Clustered Land Development (CLD): a Community type structured by a Standard Pedestrian Shed oriented toward a Common Destination. A CLD takes the form of a small, compact neighborhood designed to be rural in nature.

Civic: the term defining not-for-profit organizations dedicated to arts, culture, government, transit, and municipal parking.

Civic Building: a building operated by not-for-profit organizations dedicated to arts, culture, government, transit, and municipal parking, or for use approved by the legislative body.

Civic Parking Reserve: Parking Structure or parking lot within a quarter-mile of the site that it serves.

Civic Space: an outdoor area dedicated for public use. Civic Space types are defined by the combination of certain physical constants including the relationship among their intended use, their size, their landscaping and their Enfronting buildings.

Civic Zone: designation for public sites dedicated for Civic Buildings and Civic Space.

Code: the Interim K-20 Development Code.

Commercial: the term collectively defining workplace, Office, Retail, and Lodging Functions.

Common Destination: An area of focused Community activity, usually defining the approximate center of a Pedestrian Shed. It may include without limitation one or more of the following: a Civic Space, a Civic Building, a Commercial center, or a transit station, and may act as the social center of a neighborhood.

Common Yard: a planted Private Frontage wherein the Façade is set back from the Frontage line. It is visually continuous with adjacent yards.

Community: a regulatory category defining the physical form, Density, and extent of a settlement. The five Community types addressed in this Code are CLD, TND, TCD, RND and RCD. The TOD Community type may be created by an overlay on TND, TCD, RND or RCD. Communities are designed to include a range of housing types, a network of well-connected streets and blocks, civic spaces, civic buildings, and have amenities such as stores, schools, and places of worship within walking distance of residences.

Community Appearance Manual v. 1.0: regulations set forth by the City of Mesquite to control external architectural design, materials and quality.

Comprehensive Plan Element for the Extraterritorial Jurisdiction: The Comprehensive Plan, containing the Regional Sector Plan, which guides development in the Kaufman-Interstate 20 District, first adopted on August 4, 2008.

Configuration: the form of a building, based on its massing, Private Frontage, and height.

Corridor: a lineal geographic system incorporating transportation and/or Greenway trajectories. A transportation Corridor may be a lineal Transect Zone.

Cottage: an Edgeyard building type. A single-family dwelling, on a regular Lot, often shared with an Accessory Building in the back yard.

Courtyard: a building that occupies the boundaries of its Lot while internally defining one or more private patios.

Curb: the edge of the vehicular pavement that may be raised or flush to a Swale. The Curb usually incorporates the drainage system.

Curb Radius: the measurement of the inside Turning Radius (Table 5-1).

Density: the number of dwelling units within a standard measure of land area.

Design Speed: is the velocity at which a Thoroughfare tends to be driven without the constraints of signage or enforcement. There are four ranges of speed: Very Low: (below 20 MPH); Low: (20-25 MPH); Moderate: (25-35 MPH); High: (above 35 MPH). Lane width is determined by desired Design Speed.

Developable Areas: lands other than those in the O-1 Preserved Open Sector.

Director: the Director of Community Development for the City of Mesquite.

Dooryard: a Private Frontage type with a shallow Setback and front garden or patio, usually with a low wall at the Frontage Line.

Driveway: a vehicular lane within a Lot, often leading to a garage.

ARTICLE 5. DEFINITIONS OF TERMS

INTERIM K20 DEVELOPMENT CODE: *City of Mesquite*

- Duplex:** 2 dwelling units connected by common wall. A duplex may be located on one lot or separate lots.
- Edgeyard Building:** a building that occupies the center of its Lot with Setbacks on all sides.
- Effective Parking:** the amount of parking required for Mixed Use after adjustment by the Shared Parking Factor.
- Effective Turning Radius:** the measurement of the inside Turning Radius taking parked cars into account (Table 5-1).
- Elevation:** an exterior wall of a building not along a Frontage Line.
- Encroach:** to break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a Setback, into the Public Frontage, or above a height limit.
- Encroachment:** any structural element that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public Frontage, or above a height limit.
- Enfront:** to place an element along a Frontage, as in “porches Enfront the street.”
- Estate House:** an Edgeyard building type. A single-family dwelling on a very large Lot of rural character, often shared by one or more Accessory Buildings.
- ETJ Plan:** the Comprehensive Plan Element for the Extraterritorial Jurisdiction first adopted on August 4, 2008.
- Exception:** a ruling that would permit a practice that is not consistent with either a specific provision or the Intent of this Code. Exceptions are usually granted by the City Council in a public hearing.
- Expression Line:** a line prescribed at a certain level of a building for the major part of the width of a Façade, expressed by a variation in material or by a limited projection such as a molding or balcony.
- Extension Line:** a line prescribed at a certain level of a building for the major part of the width of a Façade, regulating the maximum height for an Encroachment by an Arcade Frontage.
- Façade:** the exterior wall of a building that is set along a Frontage Line.
- Flex Building:** see Live-Work.
- Floating Zone:** an unmapped zoning district where all the zone requirements are contained in the ordinance and the zone is fixed on the map only when the application for development meeting the zone requirements is approved.
- Forecourt:** a Private Frontage wherein a portion of the Façade is close to the Frontage Line and the central portion is set back.
- Frontage:** the area between a building Façade and the vehicular lanes, inclusive of its built and planted components. Frontage is divided into **Private Frontage** and **Public Frontage**.
- Frontage Line:** a Lot line bordering a Public Frontage. Façades facing Frontage Lines define the public realm and are therefore more regulated than the Elevations facing other Lot Lines (Table 5-1).
- Function:** the use or uses accommodated by a building and its Lot, categorized as *Restricted*, *Limited*, or *Open*, according to the intensity of the use.
- Gallery:** a Private Frontage conventional for Retail use wherein the Façade is aligned close to the Frontage Line with an attached cantilevered shed or lightweight colonnade overlapping the Sidewalk.
- Green:** a Civic Space type for unstructured recreation, spatially defined by landscaping rather than building Frontages.
- Greenfield:** an area that consists of open or wooded land or farmland that has not been previously developed.
- Green Roof:** a building roof partially or completely covered with vegetation and soil, or a growing medium, over a waterproofing membrane. Green roofs may be categorized as Extensive, Semi-Intensive, or Intensive, depending on the depth of the planting medium and the amount of maintenance required.
- Greenway:** an Open Space Corridor in largely natural conditions which may include trails for bicycles and pedestrians.

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Greyfield: an area previously used primarily as a parking lot. Shopping centers and shopping malls are typical Greyfield sites.

Growth Sector: three of five Sectors where development is permitted By Right in the Code, for New Communities.

Highway: a rural and suburban Thoroughfare of high vehicular speed and capacity. This type is allocated to the more rural Transect Zones (T-1, T-2, and T-3).

House: an Edgeyard building type, usually a single-family dwelling on a large Lot, often shared with an Accessory Building in the back yard.

Hotel: a Lodging type, owner-occupied, offering at least 12 rooms with no room limit; providing, for a fee, sleeping accommodations and customary lodging services. Related ancillary uses may include conference and meeting rooms, restaurants, bars, and recreational facilities.

Infill: *noun* - new development on land that had been previously developed, including most Greyfield and Brownfield sites and cleared land within Urbanized areas. *verb* - to develop such areas.

Inn: a Lodging type, owner-occupied, offering 6 to 12 bedrooms, providing, for a fee, sleeping accommodations and customary lodging services, permitted to serve breakfast in the mornings to guests.

Intensive Green Roof: a building roof with a planting medium between 8 inches and 4 feet. It can sustain elaborate plantings that include shrubs and trees. Intensive Green Roofs are heavy and are usually installed over concrete roof decks. They require considerable maintenance. In addition to their role in carbon mitigation, they are used for recreation or aesthetics, being park or garden-like.

Layer: a range of depth of a Lot within which certain elements are permitted (Table 5-1).

Lightwell: A Private Frontage type that is a below-grade entrance or recess designed to allow light into basements.

Linear Pedestrian Shed: A Pedestrian Shed that is elongated along an important Mixed Use Corridor such as a main street. A Linear Pedestrian Shed extends approximately 1/4 mile from each side of the Corridor for the length of its Mixed Use portion. The resulting area is shaped like a lozenge. It may be used to structure a TND, TCD, RND or RCD.

Liner Building: a building specifically designed to mask a parking lot or a Parking Structure from a Frontage.

Live-Work: a Mixed Use unit consisting of a Commercial and Residential Function. The Commercial Function may be anywhere in the unit. It is intended to be occupied by a business operator who lives in the same structure that contains the Commercial activity or industry.

Lodging: premises available for daily and weekly renting of bedrooms.

Long Pedestrian Shed: a Pedestrian Shed that is an average 1/2 mile radius or 2640 feet, used when a transit stop (bus or rail) is present or proposed as the Common Destination. A Long Pedestrian Shed represents approximately a ten-minute walk at a leisurely pace. It is applied to structure an RCD Community type.

Lot: a parcel of land accommodating a building or buildings of unified design. The size of a Lot is controlled by its width in order to determine the grain (i.e., fine grain or coarse grain) of the urban fabric.

Lot Line: the boundary that legally and geometrically demarcates a Lot.

Lot Width: the length of the Principal Frontage Line of a Lot.

Main Civic Space: the primary outdoor gathering place for a community. The Main Civic Space is often, but not always, associated with an important Civic Building.

Manufacturing: premises available for the creation, assemblage and/or repair of artifacts, using table-mounted electrical machinery or artisanal equipment, and including their Retail sale.

Metrics: the variables that define the form-based elements of the Code.

Mixed Use: multiple Functions within the same building through superimposition or adjacency, or in multiple buildings within the same area by adjacency. Mixed Use is one of the principles of CLD, TND, TCD, RND and RCD development from which many of its benefits are derived, including compactness, pedestrian activity, and parking reduction.

ARTICLE 5. DEFINITIONS OF TERMS

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Net Site Area: all developable land within a site including Thoroughfares but excluding land allocated as Civic Zones.

Office: premises available for the transaction of general business but excluding Retail, artisanal and Manufacturing uses.

Open Space: land intended to remain undeveloped; it may be reserved for Civic Space.

Open Market Building: the sale or display of retail merchandise or services outside of permanent structure, including but not limited to the sale of fruits, vegetables, shrubbery, plants, seeds and other home garden supplies.

Outbuilding: an Accessory Building, usually located toward the rear of the same Lot as a Principal Building. It is sometimes connected to the Principal Building by a Backbuilding (Table 5-1).

Park: a Civic Space type that is a natural preserve available for unstructured recreation.

Parking Structure: a building containing one or more Stories of parking above grade.

Passage (PS): a pedestrian connector, open or roofed, that passes between buildings to provide shortcuts through long Blocks and connect rear parking areas to Frontages.

Path (PT): a pedestrian way traversing a Park or rural area, with landscape matching the contiguous Open Space, ideally connecting directly with the urban Sidewalk network.

Pedestrian Shed: An area that is centered on a Common Destination. Its size is related to average walking distances for the applicable Community type. Pedestrian Sheds are applied to structure Communities (see Standard, Long or Linear Pedestrian Shed).

Planter: the element of the Public Frontage which accommodates street trees, whether continuous or individual.

Plaza: a Civic Space type designed for Civic purposes and Commercial activities in the more urban Transect Zones, generally paved and spatially defined by building Frontages.

Porch: a covered area projecting from and structurally connected to a building.

Principal Building: the main building on a Lot, usually located toward the Frontage (Table 5-1).

Principal Entrance: the main point of access for pedestrians into a building.

Principal Frontage: On corner Lots, the Private Frontage designated to bear the address and Principal Entrance to the building, and the measure of minimum Lot width. Prescriptions for the parking Layers pertain only to the Principal Frontage. Prescriptions for the first Layer pertain to both Frontages of a corner Lot.

Private Frontage: the privately held Layer between the Frontage Line and the Principal Building Façade (Table 5-1).

Public Frontage: the area between the Curb of the vehicular lanes and the Frontage Line.

RCD: see **Regional Center Development**.

Rain Garden: sunken garden using native plants and sometimes trees.

Rear Alley (RA): a vehicular way located to the rear of Lots providing access to service areas, parking, and Outbuildings and containing utility easements. Rear Alleys should be paved, with drainage by inverted crown at the center or with roll Curbs at the edges.

Rearyard Building: a building that occupies the full Frontage Line, leaving the rear of the Lot as the sole yard. This is a more urban type, as the continuous Façade spatially defines the public Thoroughfare. For its Residential Function, this type yields a Rowhouse. For its Commercial Function, the rear yard can accommodate substantial parking.

Recess Line: a line prescribed for the full width of a Façade, above which there is a Stepback of a minimum distance, such that the height to this line (not the overall building height) effectively defines the enclosure of the Enfronting public space.

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Regional Center Development (RCD): a Community type structured by a Long Pedestrian Shed or Linear Pedestrian Shed, which may be adjoined without buffers by one or several Standard Pedestrian Sheds, each with the individual Transect Zone requirements of a TND or TCD. A RCD takes the form of a high-intensity, Mixed Use center designed to be an economic hub for its surrounding area. A RCD should be connected to other centers by transit.

Regional Sector Plan: The allocation of Sectors and certain Community Types illustrated in the ETJ Plan, together with strategic policies, that guide the development of lands subject to the application of the Kaufman-Interstate 20 District.

Regulating Plan: a Zoning Map or set of maps that shows the Transect Zones, Civic Zones, Thoroughfares, Special Districts if any, and Special Requirements if any, of areas subject to, or potentially subject to, regulation by the Code.

Residential: characterizing premises available for long-term human dwelling.

Restaurant: a Retail establishment where food and beverages are prepared, served, and consumed primarily within the Principal Building.

Retail: characterizing premises available for the sale of merchandise and food service.

Road (RD): a local, rural and suburban Thoroughfare of low-to-moderate vehicular speed and capacity. This type is allocated to the more rural Transect Zones (T1-T3).

Rowhouse: a single-family dwelling that shares a party wall with another of the same type and occupies the full Frontage Line.

Secondary Frontage: on corner Lots, the Private Frontage that is not the Principal Frontage. As it affects the public realm, its First Layer is regulated.

Sector: a neutral term for a geographic area. In the Code there are five specific Sectors for regional planning that establish the legal boundaries for Open Space and development.

Sexually Oriented Business: commercial activities regulated by Chapter 12 of the City Code of the City of Mesquite.

Setback: the area of a Lot measured from the Lot line to a building Façade or Elevation that is maintained clear of permanent structures, with the exception of Encroachments.

Shared Parking Factor: an accounting for parking spaces that are available to more than one Function and which is calculated by adding the total number of spaces required by each separate Function and dividing the total by the appropriate factor from the Sharing Factor matrix.

Shopfront: a Private Frontage conventional for Commercial use, with substantial glazing and an awning, wherein the Façade is aligned close to the Frontage Line with the building entrance at Sidewalk grade.

Shopfront Frontage: Frontage designated on a Regulating Plan that requires or recommends the provision of a Shopfront, encouraging the ground level to be available for Commercial use.

Shopping Mall: a common design mode for regional and superregional commercial centers with an enclosed, climate-controlled walkway, promenade, or concourse between two facing banks of stores and surrounded by a large parking field.

Sidewalk: the paved section of the Public Frontage dedicated exclusively to pedestrian activity.

Sideyard Building: a building that occupies one side of the Lot with a Setback on the other side. This type can be a Single or Twin depending on whether it abuts the neighboring house.

Slip Road: an outer vehicular lane or lanes of a Thoroughfare, designed for slow speeds while inner lanes carry higher speed traffic, and separated from them by a planted median. (Syn: access lane, service lane)

Specialized Building: a building that is not subject to Residential, Commercial, or Lodging classification. Most specialized buildings are dedicated to Manufacturing and transportation, and are distorted by the trajectories of machinery.

Special District (SD): an area that, by its intrinsic Function, Disposition, or Configuration, cannot or should not conform to one or more of the normative Community types or Transect Zones specified by the Code. Special Districts may be mapped and regulated at the community scale.

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Special Requirements: provisions of *Section 3.11 and Section 4.3* of this Code and/or the associated designations on a Regulating Plan or other map for those provisions.

Square: a Civic Space type designed for unstructured recreation and Civic purposes, spatially defined by building Frontages and consisting of Paths, lawns and trees, formally disposed.

Standard Pedestrian Shed: a Pedestrian Shed that is an average 1/4 mile radius or 1320 feet, about the distance of a five-minute walk at a leisurely pace.

Stepback: a building Setback of a specified distance that occurs at a prescribed number of Stories above the ground.

Stoop: a Private Frontage wherein the Façade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk for privacy, with an exterior stair and landing at the entrance.

Story: a habitable level within a building, excluding an Attic or raised basement.

Street (ST): a local urban Thoroughfare of low speed and capacity. Its Public Frontage consists of raised curbs drained by inlets and sidewalks separated from vehicular lanes by a planter and parking on both sides. The landscaping consists of regularly placed street trees.

Street Screen: a freestanding wall built along the Frontage Line, or coplanar with the Façade. It may mask a parking lot from the Thoroughfare, provide privacy to a side yard, and/or strengthen the spatial definition of the public realm.

Strip Shopping Center: a pattern of auto-dominated, commercial development located along one or both sides of a street which is generally one lot in depth and is characterized by multiple and relatively closely spaced driveways. It includes power centers that consist of several freestanding anchors or big boxes occupied by “category killers” and only a minimum number of small tenants.

Substantial Modification: alteration to a building that is valued at more than 50% of the replacement cost of the entire building, if new.

Swale: a low or slightly depressed natural area for drainage.

T-Zone: Transect Zone.

Terminated Vista: a location at the axial conclusion of a Thoroughfare. A building located at a Terminated Vista designated on a Regulating Plan is required or recommended to be designed in response to the axis.

Third Place: see **Public Hall**

Thoroughfare: a way for use by vehicular and pedestrian traffic and to provide access to Lots and Open Spaces, consisting of Vehicular Lanes and the Public Frontage.

Town Center Development (TCD): a Community type structured by a Standard Pedestrian Shed oriented toward a Common Destination consisting of a Mixed Use center or Corridor. A TND takes the form of a neighborhood scale, mixed use district.

Traditional Neighborhood Development (TND): a Community type structured by a Standard Pedestrian Shed oriented toward a Common Destination consisting of a Mixed Use center or Corridor. A TND takes the form of a medium-sized neighborhood designed to be oriented toward a mixed use center or corridor.

Transit-Oriented Development (TOD): A TOD is created by an overlay on all or part of a TND, TCD, RND or RCD, or by designation on a Regional Plan, permitting increased Density to support rail or Bus Rapid Transit (BRT).

Transect: a cross-section of the environment showing a range of different habitats. The rural-urban Transect of the human environment used in the Code is divided into six Transect Zones. These zones describe the physical form and character of a place, according to the Density and intensity of its land use and Urbanism.

Transect Zone (T-Zone): One of several areas on a Zoning Map regulated by the Code. Transect Zones are administratively similar to the land use zones in conventional codes, except that in addition to the usual building use, Density, height, and Setback requirements, other elements of the intended habitat are integrated, including those of the private Lot and building and Public Frontage.

Transit Route: an existing or planned route for public service in the local or regional transportation plan.

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Turning Radius: the curved edge of a Thoroughfare at an intersection, measured at the inside edge of the vehicular tracking. The smaller the Turning Radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn (Table 5-1).

Urbanism: collective term for the condition of a compact, Mixed Use settlement, including the physical form of its development and its environmental, functional, economic, and sociocultural aspects.

Urbanized: generally, developed. Specific to the Code, developed at T-3 (Sub-Urban) Density or higher.

Variance: a ruling that would permit a practice that is not consistent with either a specific provision or the Intent of this Code. Variances are usually granted by the Board of Adjustment in a public hearing.

Warrant: a ruling that would permit a practice that is not consistent with a specific provision of this Code, but that is justified by its Intent. Warrants are usually granted administratively by the Director.

Work-Live: a Mixed Use unit consisting of a Commercial and Residential Function. It typically has a substantial Commercial component that may accommodate employees and walk-in trade. The unit is intended to function predominantly as work space with incidental Residential accommodations that meet basic habitability requirements (see **Live Work**).

Yield: characterizing a Thoroughfare that has two-way traffic but only one effective travel lane because of parked cars, necessitating slow movement and driver negotiation. Also, characterizing parking on such a Thoroughfare.

Zoning Map: the official map or maps that are part of the zoning ordinance and delineate the boundaries of individual zones and districts (see **Regulating Plan**).

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APPENDIX
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NEW COMMUNITY PLAN SUBMITTAL

This Appendix includes 18-pages from a plan submittal for Hampstead, a 416-acre Greenfield project within the city limits of Montgomery, Alabama. The pages indicate to the Consolidated Review Committee (CRC) how the plan meets the requirements of the SmartCode under which it will be permitted. (The terminology and numbers referenced in the submittal are based on an earlier, and calibrated, version of the SmartCode, but the procedure is typical.)

The submittal shows outlines of the Standard Pedestrian Sheds to create the approximate boundaries of the three TNDs that fit into the site. Each of these will become a Community. The shed positions were determined after the design team walked the Greenfield site and decided on good locations for Common Destinations, i.e., centers. Next, the design team planned the TNDs and assigned Transect Zones, guided by percentage ranges prescribed in the Montgomery, Alabama SmartCode.

Page 5 of the submittal shows the original Standard Pedestrian Sheds and the assigned Transect Zones. Throughout the planning process, designers should consider topography and thoroughfares to determine logical neighborhood edges. Here, because the site allowed three sheds to fit very closely, the entire site is accounted for in determining the TNDs. This would not always be the case; depending on the site size and configuration, there may be remnants outside the Community. Such remnants are assigned Transect Zones, but these would not count toward the Transect Zone allocation for the Community Type. On this page, the final accounting for the allocation has been recorded on the accompanying chart.

Page 6 illustrates Maximum Block Size with Variance Requests; Page 7 specifies the Thoroughfare Types; Pages 8 through 10 show the Thoroughfare Standards/Assemblies that correspond with each Thoroughfare Type; Page 12 outlines the Standard Pedestrian Sheds, main civic spaces and Common Destinations for each TND; Page 13 illustrates small “playsheds” to locate the playgrounds for the development; Pages 14 and 15 depict civic spaces and civic buildings throughout the TNDs; and Page 16 exhibits Special Requirements such as Terminated Vistas and Retail Frontage.

The example shows the TND boundary going along the edge of a circular Pedestrian Shed, but it need not follow the edge. In some cases it may be necessary, because of topography or thoroughfares, to draw a Community boundary line through the overlap of the two sheds.



HAMPSTEAD

MONTGOMERY, ALABAMA

CRC SUBMITTAL



HAMPSTEAD

MONTGOMERY, ALABAMA

The Hampstead CRC Submittal booklet
was prepared by:

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July 17, 2006

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HAMPSTEAD

MONTGOMERY, ALABAMA



HAMPSTEAD

MONTGOMERY, ALABAMA

HAMPSTEAD NEW COMMUNITY PLAN SUBMITTAL

CURRENT ILLUSTRATIVE MASTER PLAN



HAMPSTEAD

MONTGOMERY, ALABAMA

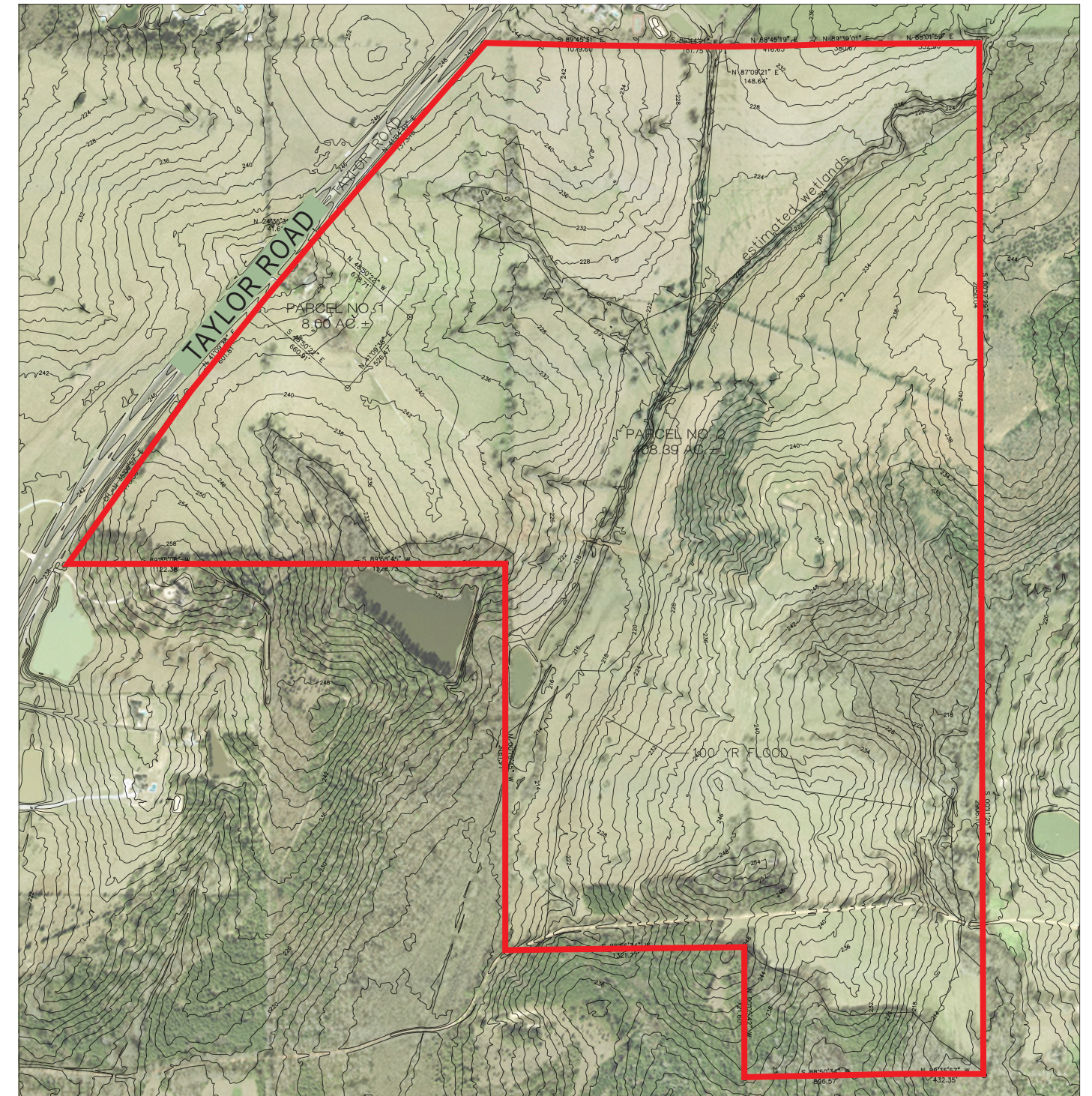
HAMPSTEAD NEW COMMUNITY PLAN SUBMITTAL

SITE TOPOGRAPHY OVER AERIAL PHOTOGRAPH

Compliance with Minimum Contiguous Acreage requirements for selected New Community Type(s) as set forth in Section 2.3.2.a

TND: Overall Acreage = 416 acres

SITE BOUNDARY



HAMPSTEAD

MONTGOMERY, ALABAMA

TRANSECT ZONE ALLOCATION

Compliance with Allocation of Land Outside Pedestrian Sheds as set forth in Section 2.1.8

Transect Zones outside shed: T1, T2, T3

Compliance with Pedestrian Shed requirements as set forth in Section 2.3.2.b

Transect Zones within shed: T3, T4, T5

Compliance with Transect Zone Allocation requirements as set forth in Table 14 A

See table below

*Note: Transect allocation at north of property subject to final location of Regional Arterial Collector

- T1 - NATURAL ZONE
- T2 - RURAL ZONE
- T3 - SUB-URBAN ZONE
- T4 - GENERAL URBAN ZONE
- T5 - URBAN CENTER ZONE
- CS - CIVIC SPACE
- CB - CIVIC BUILDING RESERVE
- 1/4 MILE PEDESTRIAN SHED



	T1 NATURAL ZONE		T3 SUB-URBAN ZONE		T4 GENERAL URBAN		T5 URBAN CENTER		CIVIC		TOTAL	
1	-	0.0%	11.54	10.6%	36.35	33.3%	30.16	27.6%	31.09	28.5%	109.14	100.0%
2	18.32	12.3%	19.57	13.1%	46.85	31.5%	17.06	11.5%	47.09	31.6%	148.89	100.0%
3	19.14	12.2%	45.81	29.1%	65.35	41.5%	16.25	10.3%	10.77	6.8%	157.32	100.0%
TOTAL	37.46	9.0%	76.92	18.5%	148.55	35.8%	63.47	15.3%	88.95	21.4%	415.35	100.0%



HAMPSTEAD

MONTGOMERY, ALABAMA

MAXIMUM BLOCK SIZE

Compliance with Maximum Block Size requirements as set forth in Table 14 C

Warrant Request

1. Block size exceeding by 32.16 lineal feet for interior parking while maintaining attached green
2. Block size exceeding by 221.02 lineal feet. T5 designation is anchoring an important termination.

- T1 - NO MAXIMUM
- T2 - NO MAXIMUM
- T3 - 3,000 feet max
- T4 - 2,400 feet max
- T5 - 2,000 feet max
- CS - CIVIC SPACE
- CB - CIVIC BUILDING RESERVE



HAMPSTEAD

MONTGOMERY, ALABAMA

Compliance with Thoroughfare Termination and Cul-de-sac Limitation as set forth in 2.6.2. c






"All Thoroughfares shall terminate at other Thoroughfares, forming a network... Cul-de-sacs shall be permitted only when warranted by natural site conditions."








Lots Fronting a Cul-de-sac: None

Compliance with Required % of Lots Enfronting Thoroughfares as set forth in Section 2.6.2. d

"Lots shall enfront a vehicular Thoroughfare, except that 20% of the lots within each Transect Zone may enfront a pedestrian passage."

Lots Fronting a Vehicular Thoroughfare: 100%

-  VEHICULAR THOROUGHFARES
-  REAR ALLEY
-  REAR LANE
-  PEDESTRIAN PATHS
-  PEDESTRIAN PASSAGES

-  T1 - NATURAL ZONE
-  T2 - RURAL ZONE
-  T3 - SUB-URBAN ZONE
-  T4 - GENERAL URBAN ZONE
-  T5 - URBAN CENTER ZONE
-  CS - CIVIC SPACE
-  CB - CIVIC BUILDING RESERVE



Compliance with Thoroughfare requirements as set forth in Tables 3A, 3B and 3C.

DEFINITIONS

Boulevards: are a transformation of highways upon entering an urbanized area. They are appropriate for speed-movement thoroughfares outside neighborhoods. The effect of the side medians is to buffer buildings along the edges from traffic on the center lanes.

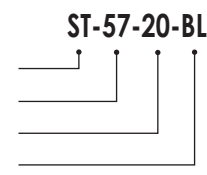
Commercial Street: are appropriate for commercial buildings at Center and Core Zones. Trees are define by individual planters, creating a sidewalk of maximum width, with areas accommodating street furniture. A single species of tree should be planted in opportunistic alignment storefronts. Clear trunks and high canopies are necessary to avoid interference with shopfronts, signage, and awnings. Streets are detailed with raised curbs and closed storm drainage.

Street: a local, slow-movement thoroughfare suitable for General, Center, and Core Urban Zones. Streets provide frontage for higher-density buildings such as offices, shops, apartment buildings, and rowhouses. A street is urban in character, with raised curbs, closed drainage, wide sidewalks, parallel parking, and trees in individual planting areas. Character may vary somewhat, however, responding to the enfronting commercial and residential uses.

Street: a local, slow-movement thoroughfare suitable for General, Center, and Core Urban Zones. Streets provide frontage for higher-density buildings such as offices, shops, apartment buildings, and rowhouses. A street is urban in character, with raised curbs, closed drainage, wide sidewalks, parallel parking, and trees in individual planting areas. Character may vary somewhat, however, responding to the enfronting commercial and residential uses.

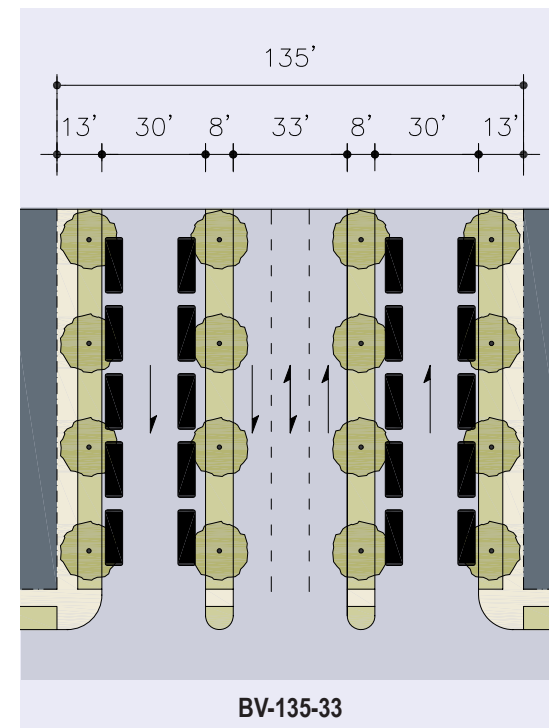
KEY

Thoroughfare Type
Right of Way Width
Pavement Width
Transportation

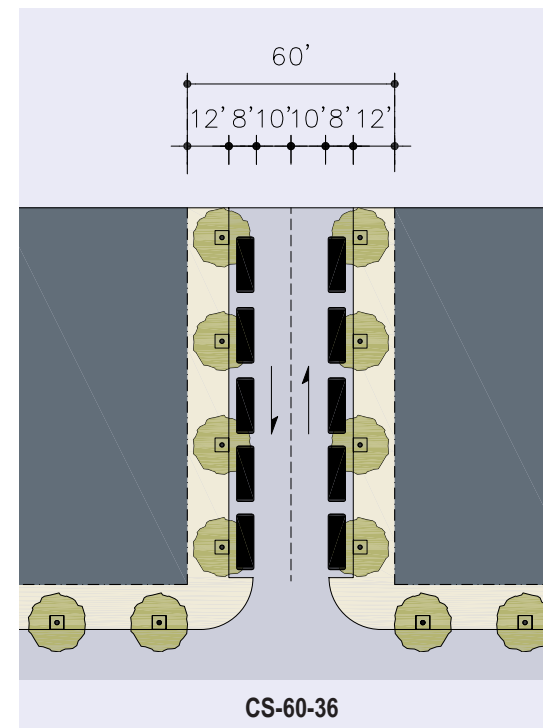


THOROUGHFARE TYPES

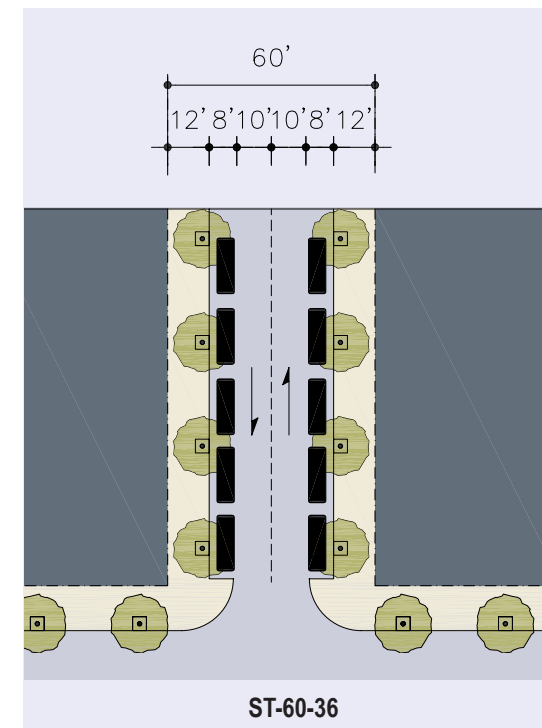
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Standard Street:	SS
Residential Street:	RS
Standard Road:	SR
Rural Road:	RR
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Transit Route:	TR



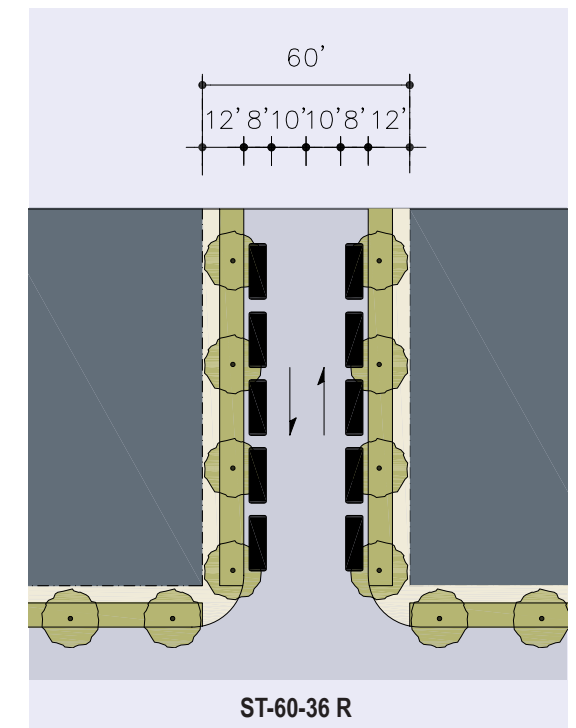
Thoroughfare Type	Boulevard - BV
Transect Zone Assignment	T5
Right-of-Way Width	135 feet
Pavement Width	30 feet - 33 feet - 30 feet
Movement	Free movement
Design Speed	35 MPH
Pedestrian Crossing Time	8.5 seconds - 9.5 seconds - 8.5 seconds
Traffic Lanes	3 lanes; two-ways, 1 turning lane & 2 one-way slip roads
Parking Lanes	8 feet marked
Curb Radius	15 feet
Public Frontage Type	Gallery/Arcade, Shopfront/Awning
Walkway Type	6 foot sidewalk
Planter Type	7 foot continuous planter
Curb Type	Curb
Landscape Type	Trees @ 30' o.c. avg.
Transportation Provision	BR, TR



Thoroughfare Type	Commercial Street - CS
Transect Zone Assignment	T5
Right-of-Way Width	60 feet
Pavement Width	36 feet
Movement	Slow movement
Design Speed	25 MPH
Pedestrian Crossing Time	10 seconds
Traffic Lanes	Two lanes, two ways
Parking Lanes	Both sides @ 8 feet marked
Curb Radius	15 feet
Public Frontage Type	Gallery/Arcade, Shopfront/Awning
Walkway Type	13 foot sidewalk
Planter Type	4'X4' tree well
Curb Type	Curb
Landscape Type	Trees @ 30' o.c. Avg.
Transportation Provision	BR



Thoroughfare Type	Standard Street - SS
Transect Zone Assignment	T5, T4, T3
Right-of-Way Width	60 feet
Pavement Width	36 feet
Movement	Slow movement
Design Speed	25 MPH
Pedestrian Crossing Time	10 seconds
Traffic Lanes	Two lanes, two ways
Parking Lanes	Both sides @ 8 feet marked
Curb Radius	15 feet
Public Frontage Type	Stoop, Forecourt, Light Court, Porch & Fence
Walkway Type	8 foot sidewalk
Planter Type	5 foot continuous planter
Curb Type	Curb
Landscape Type	Trees @ 30' o.c. Avg.
Transportation Provision	BR



Thoroughfare Type	Residential Street - RS
Transect Zone Assignment	T5, T4, T3
Right-of-Way Width	60 feet
Pavement Width	36 feet
Movement	Slow movement
Design Speed	25 MPH
Pedestrian Crossing Time	10 seconds
Traffic Lanes	Two lanes, two ways
Parking Lanes	Both Sides @ 8 feet unmarked
Curb Radius	15 feet
Public Frontage Type	Stoop, Forecourt, Light Court
Walkway Type	5 foot sidewalk
Planter Type	7 foot continuous planter
Curb Type	Curb
Landscape Type	Trees @ 30' o.c. Avg.
Transportation Provision	BR

FIRST DRAFT

Compliance with Thoroughfare requirements as set forth in Tables 3A, 3B and 3C.

DEFINITIONS

Street: a local, slow-movement thoroughfare suitable for General, Center, and Core Urban Zones. Streets provide frontage for higher-density buildings such as offices, shops, apartment buildings, and rowhouses. A street is urban in character, with raised curbs, closed drainage, wide sidewalks, parallel parking, and trees in individual planting areas. Character may vary somewhat, however, responding to the enfronting commercial and residential uses.

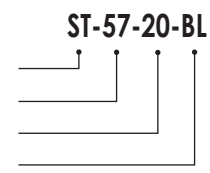
Street: a local, slow-movement thoroughfare suitable for General, Center, and Core Urban Zones. Streets provide frontage for higher-density buildings such as offices, shops, apartment buildings, and rowhouses. A street is urban in character, with raised curbs, closed drainage, wide sidewalks, parallel parking, and trees in individual planting areas. Character may vary somewhat, however, responding to the enfronting commercial and residential uses.

Road: a local, slow-movement thoroughfare suitable for Sub-Urban and Rural Reserve Zones. Roads provide frontage for low density buildings such as houses. A road tends to be rural in character, without curbs or striped on-street parking; it has clustered plantings and paths instead of sidewalks. The degree of rural or rustic character of a road may be adjusted by the manipulation of such elements. A road with parking is typically used where garages are served by a rear lane.

Road: a local, slow-movement thoroughfare suitable for Sub-Urban and Rural Reserve Zones. Roads provide frontage for low density buildings such as houses. A road tends to be rural in character, without curbs or striped on-street parking; it has clustered plantings and paths instead of sidewalks. The degree of rural or rustic character of a road may be adjusted by the manipulation of such elements. A road with parking is typically used where garages are served by a rear lane.

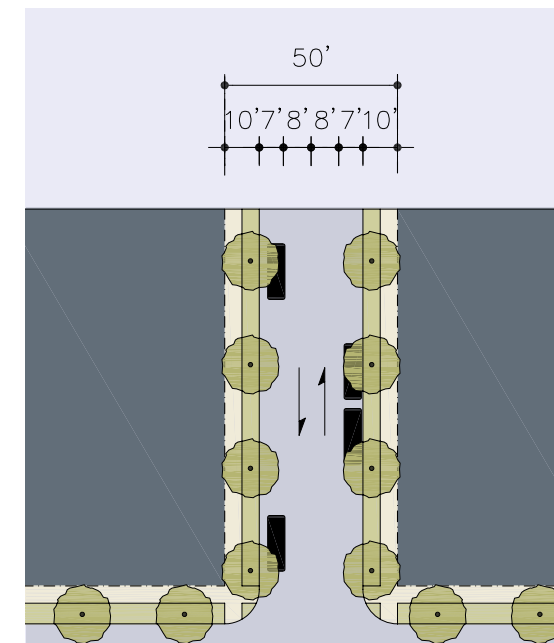
KEY

Thoroughfare Type
Right of Way Width
Pavement Width
Transportation

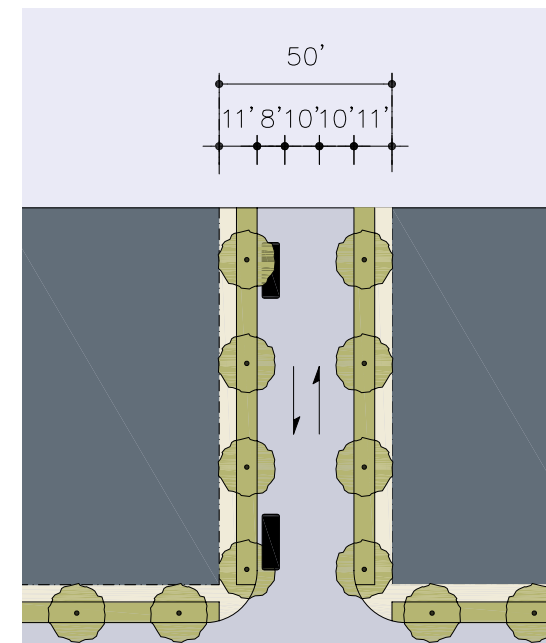


THOROUGHFARE TYPES

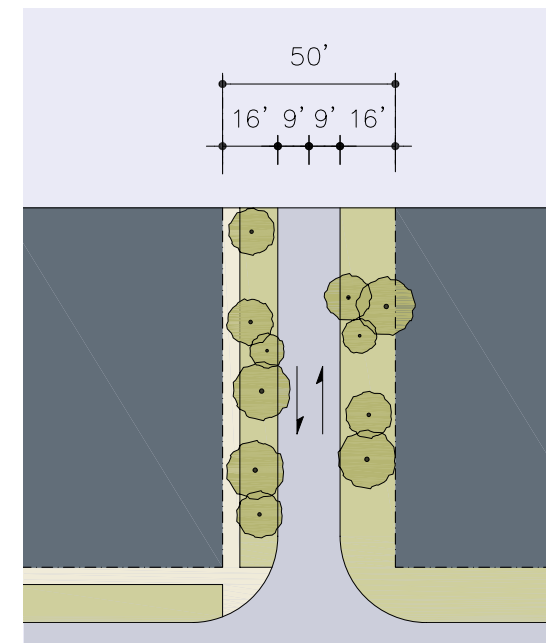
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Standard Street:	SS
Residential Street:	RS
Standard Road:	SR
Rural Road:	RR
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Transit Route:	TR



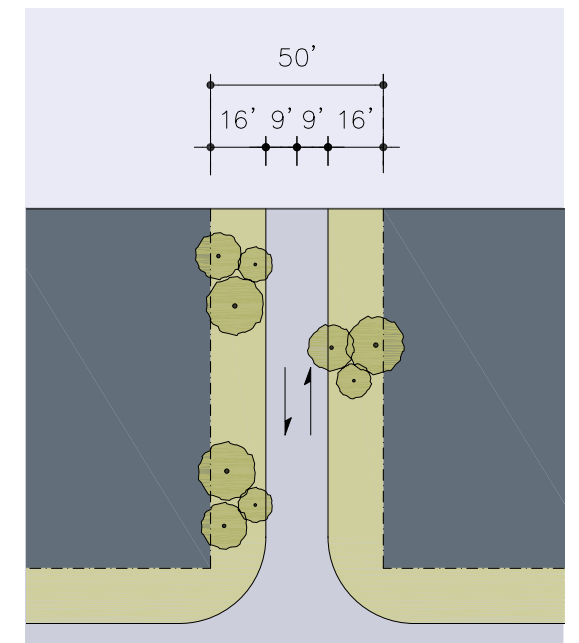
ST-50-30	
Thoroughfare Type	Residential Street - RS
Transect Zone Assignment	T5, T4, T3
Right-of-Way Width	50 feet
Pavement Width	30 feet
Movement	Yield movement
Design Speed	20 MPH
Pedestrian Crossing Time	8 seconds
Traffic Lanes	Two lanes, two ways
Parking Lanes	Both sides @ 7 feet unmarked
Curb Radius	15 feet
Public Frontage Type	Stoop, Forecourt, Light Court
Walkway Type	5 foot sidewalk
Planter Type	5 foot continuous planter
Curb Type	Curb
Landscape Type	Trees @ 30' O.C. Avg.
Transportation Provision	BR



ST-50-28	
Thoroughfare Type	Standard Street - SS
Transect Zone Assignment	T5, T4, T3
Right-of-Way Width	50 feet
Pavement Width	28 feet
Movement	Yield Movement
Design Speed	25 MPH
Pedestrian Crossing Time	7.5 seconds
Traffic Lanes	Two lanes, two ways
Parking Lanes	One side @ 8 feet unmarked
Curb Radius	15 feet
Public Frontage Type	Stoop, Forecourt, Light Court
Walkway Type	5 foot Sidewalk
Planter Type	6 foot continuous planter
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	BR



RD-50-18 S	
Thoroughfare Type	Standard Road - SR
Transect Zone Assignment	T4, T3
Right-of-Way Width	50 feet
Pavement Width	18 feet
Movement	Yield Movement
Design Speed	15 MPH
Pedestrian Crossing Time	4.5 seconds
Traffic Lanes	Two lanes, two ways
Parking Lanes	N/A
Curb Radius	25 feet
Public Frontage Type	Porch and fence, Common Lawn
Walkway Type	5 foot sidewalk on one side
Planter Type	11 foot continuous planter
Curb Type	Swale
Landscape Type	Trees clustered
Transportation Provision	BT



RD-50-18	
Thoroughfare Type	Rural Road - RR
Transect Zone Assignment	T3, T2, T1
Right-of-Way Width	50 feet
Pavement Width	18 feet
Movement	Yield Movement
Design Speed	15 MPH
Pedestrian Crossing Time	4.5 seconds
Traffic Lanes	Two lanes, two ways
Parking Lanes	N/A
Curb Radius	25 feet
Public Frontage Type	Porch and fence, Common Lawn
Walkway Type	Path optional
Planter Type	Continuous swale
Curb Type	Swale
Landscape Type	Trees clustered
Transportation Provision	BT

FIRST DRAFT

Compliance with Thoroughfare requirements as set forth in Tables 3A, 3B and 3C.

DEFINITIONS

Alley: a narrow vehicular access way to the rear of more urban lots providing service areas, parking access, and utility easements. Alleys, as they are used by trucks and must accommodate dumpsters, should be paved from building face to building face, with drainage by inverted crown at the center.

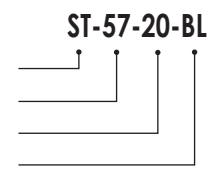
Lane: a vehicular access way located to the rear of more rural lots providing access to parking and outbuildings and utility easements. Lanes are paved as lightly as possible (to driveway standards) and should be as rural as possible in character and may be just gravel or left unpaved.

Passage: a pedestrian connector passing between buildings. Passages provide shortcuts through long blocks and connect rear parking areas with street frontages. Passages may be roofed over and lined by shopfronts.

Path: a pedestrian way traversing a park or the countryside. Paths shall connect directly with the sidewalk network.

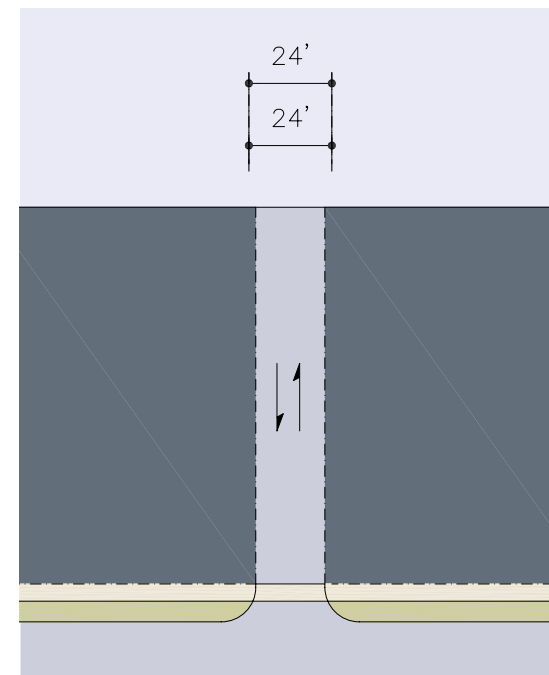
KEY

Thoroughfare Type
Right of Way Width
Pavement Width
Transportation

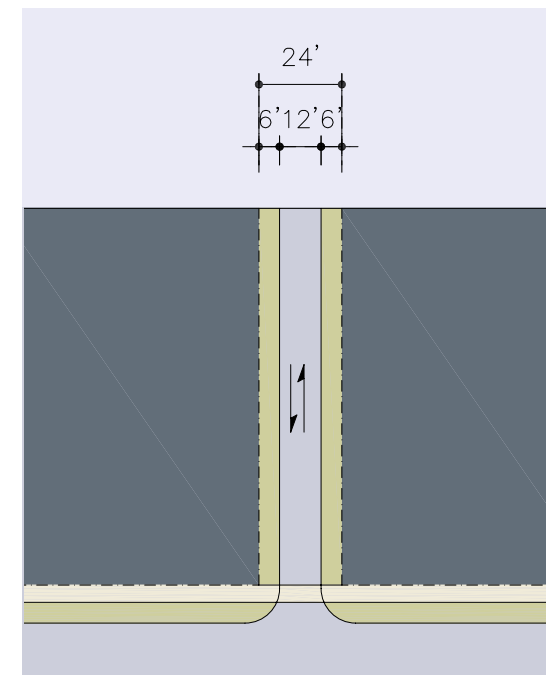


THOROUGHFARE TYPES

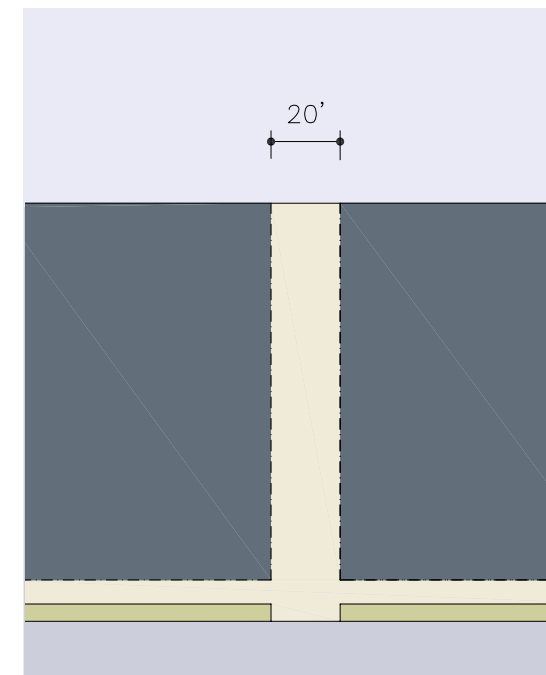
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Standard Street:	SS
Residential Street:	RS
Standard Road:	SR
Rural Road:	RR
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Transit Route:	TR



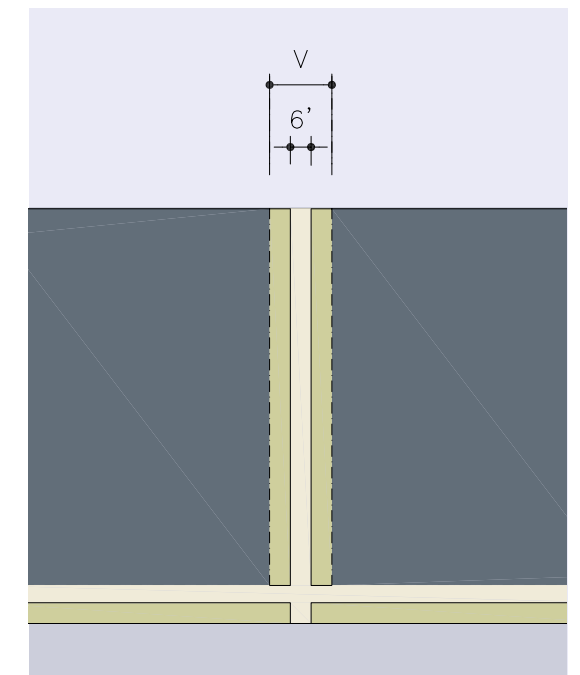
RA-24-24
Rear Alley - RA
T5, T4
24 feet
24 feet
Slow Movement
10 MPH
6.5 seconds
Two lanes, two ways
N/A
25 feet
N/A
N/A
N/A
N/A
N/A
N/A
N/A
N/A
N/A



RL-24-12
Rear Lane - RL
T3
24 feet
12 feet
Yield Movement
10 MPH
3.5 seconds
Two lanes, two ways
N/A
25 feet
N/A
N/A
N/A
Swale
N/A
N/A
N/A
N/A



PS-20-20
Passage - PS
T5, T4
20 feet
20 feet
Pedestrian
N/A
N/A
N/A
N/A
N/A
N/A
N/A
N/A
N/A
N/A
N/A
N/A



PT-V-6
Path - PT
T4, T3
Varies
6 feet
Pedestrian
N/A
N/A
N/A
N/A
Stoop, Forecourt, Light Court, Porch and Fence
6 foot Sidewalk min.
TBD
TBD
TBD
N/A

FIRST DRAFT

HAMPSTEAD

MONTGOMERY, ALABAMA

CIVIC FUNCTION ALLOCATION

Compliance with Civic Function Allocation as set forth in Section 2.7.2.a




"Each Pedestrian Shed shall assign at least 5% of its urbanized area to Civic Space."

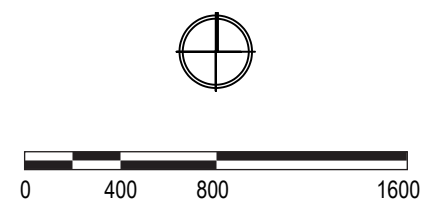
Neighborhood 1: 28.5 % developable land

Neighborhood 2: 31.6 % developable land

Neighborhood 3: 6.8 % developable land*

* T1 Natural Zone not included in Civic Space calculation but is also Green Space.

-  CIVIC SPACE
-  CIVIC BUILDINGS
-  1/4 MILE PEDESTRIAN SHED



Compliance with Civic Function Allocation as set forth in Section 2.7.2.c and Table 13

Section 2.7.2.c
 "The main Civic Space shall be within 800 ft of the geographic center of each Pedestrian Shed, unless..."

Pedestrian Shed 1: 528 ft from center
 Pedestrian Shed 2: 424 ft from center
 Pedestrian Shed 3: 611 ft from center

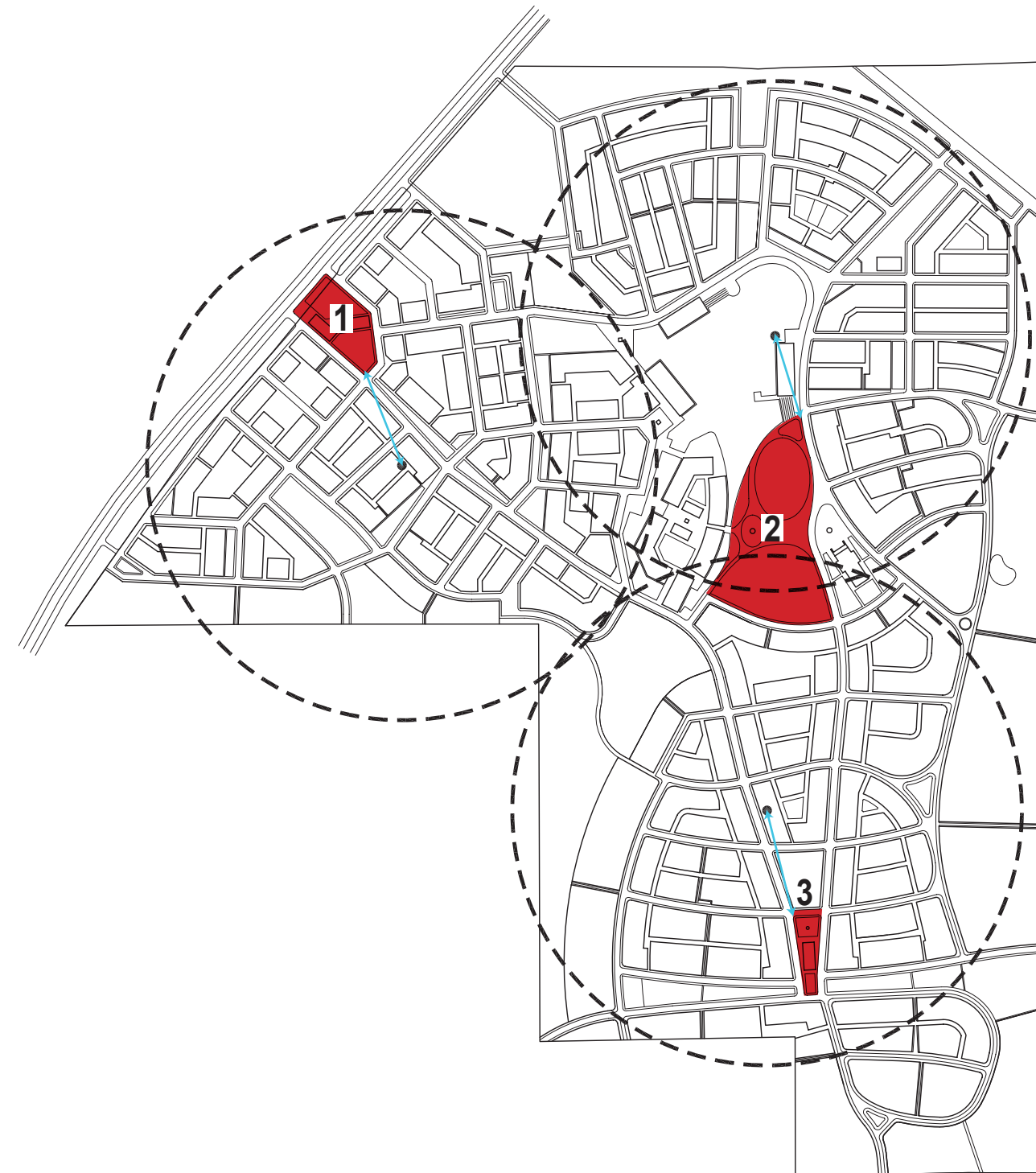
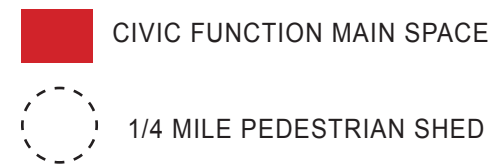
Table 13

- 1. Square: 2.68 Acres
- 2. Green: 9.42 Acres
- 3. Plaza: 1.08 Acres

Compliance with Civic Space requirements as set forth in Section 2.7.2.e

Section 2.7.2.e
 "Each Civic Space shall have a minimum of 50% of its perimeter Enfronting a Thoroughfare."

Pedestrian Shed 1: 100%
 Pedestrian Shed 2: 62.5%
 Pedestrian Shed 3: 100%





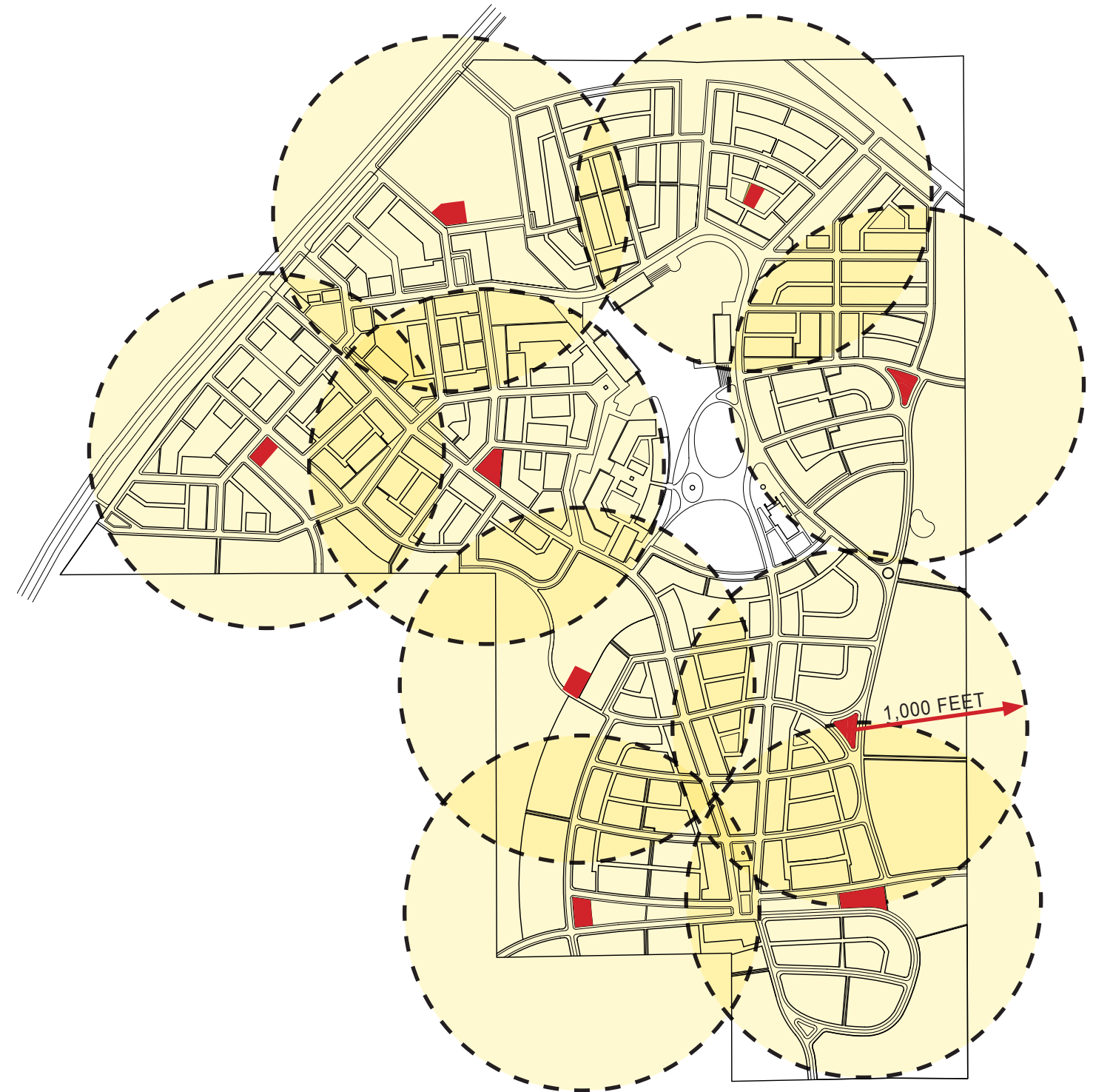
HAMPSTEAD

MONTGOMERY, ALABAMA

Compliance with Civic Function Allocation as set forth in Section 2.7.2. d

Nine Playgrounds

-  CIVIC FUNCTION PLAYGROUNDS
-  1000' PEDESTRIAN SHED




HAMPSTEAD


MONTGOMERY, ALABAMA

CIVIC BUILDINGS

Compliance with Civic Function Allocation as set forth in Section 2.7.3. a, 2.7.3.b and 2.7.3.c

- 1. Meeting Hall
- 2. Childcare Building Reservation Lot
- 3. Third Place

 CIVIC BUILDING

 1/4 MILE PEDESTRIAN SHED



HAMPSTEAD

MONTGOMERY, ALABAMA

CIVIC BUILDING SITE



Compliance with Civic Function Allocation as set forth in Section 2.7.3.d

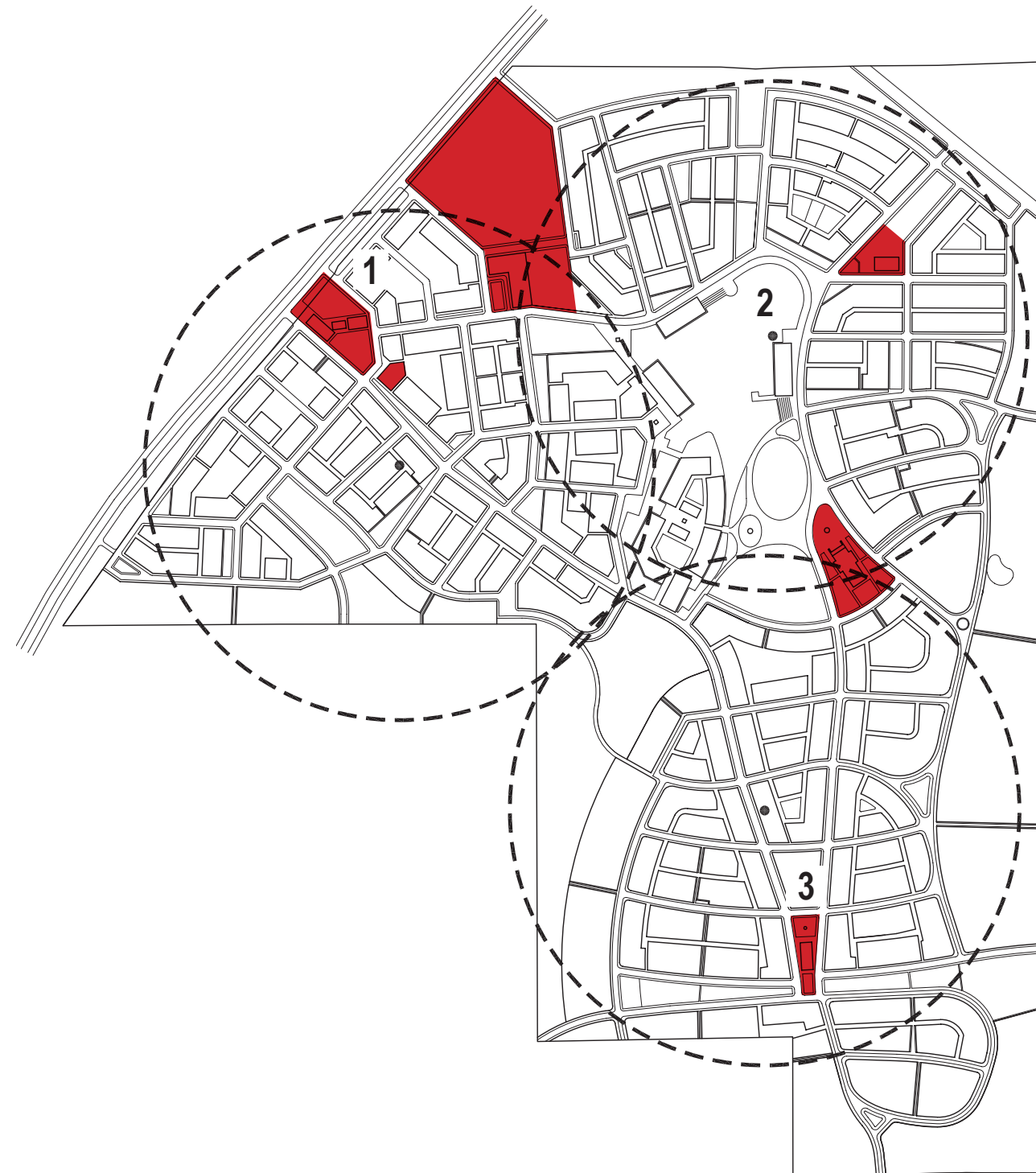
" Civic Building Sites shall not occupy more than 20% of the area of each Pedestrian Shed."

Pedestrian Shed 1
Total civic building sites: 6.38 acres = 6.6%

Pedestrian Shed 2
Total civic building sites: 6.7 acres = 5.3%

Pedestrian Shed 3
Total civic building sites: 1.91 acres = 1.6%








-  CIVIC BUILDING SITES
-  1/4 MILE PEDESTRIAN SHED






HAMPSTEAD

MONTGOMERY, ALABAMA

Compliance with Special Requirements set forth in Section 2.8.1.b and 2.8.1.e

-  T1 - NATURAL ZONE
-  T2 - RURAL ZONE
-  T3 - SUB-URBAN ZONE
-  T4 - GENERAL URBAN ZONE
-  T5 - URBAN CENTER ZONE
-  CS - CIVIC SPACE
-  CB - CIVIC BUILDING RESERVE

-  RECOMMENDED SHOPFRONT
-  TERMINATED VISTAS
-  1/4 MILE PEDESTRIAN SHED

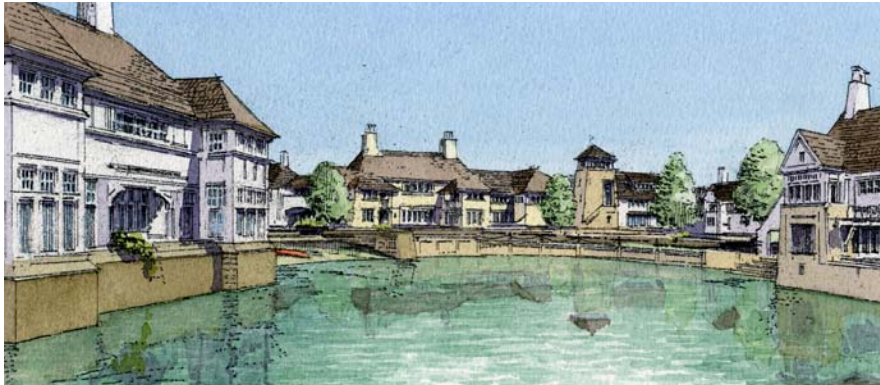


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Hampstead

East Montgomery, Alabama



Location: East Montgomery, Alabama
Type: Greenfield
Year Design: 2006
Status: Under Construction
Size: 400 acres
Contact: Anna Lowder
Hampstead
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Hampstead is the first traditional neighborhood development to be built under Montgomery's newly adopted SmartCode, and was developed by Montgomery's Colonial Company. The Colonial Company is one of the largest home builders in the region, and this project represents a change in direction in terms of a planning model.

Located on 400 acres of farmland adjacent to Alabama's Interstate 85, the property is located within Montgomery's fastest-growing area. The plan features three neighborhoods, each with its own civic buildings and public gathering spaces. Each neighborhood center was designed taking into consideration the natural features of the land, along with the optimal pedestrian shed of a five-minute walk from center to edge. A man-made lake, dammed from a creek running through the site, forms the center of the development.



The town center faces the main thoroughfare of Taylor Road, and will feature commercial establishments, as well as apartments and live/work units. The other two densely developed neighborhood centers will feature apartments, townhouses and live/work units. Neighborhood civic buildings scattered throughout the development will act as a resource for the town residents, including a town hall, which can accommodate neighborhood meetings and events, as well as an outdoors Farmer's Market.

